

WORKING DRAWING REGISTER

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A1011	INTERIORS - ENS 01	1:25@A3	1
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A1013	INTERIORS - ENS 03	1:25@A3	1
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PERMIT ISSUE

ISSUE	AMENDMENT	DATE
1	TENDER ISSUE	16.10.24

PROJECT
**ALTERATIONS & ADDITIONS
3 AUSTIN ROAD, HAMPTON**

DRAWING
**COVER DRAWINGS &
DRAWING REGISTER**

DATE
NOV 24

PROJECT PREPARED BY
Bearwood
BUILDING

DRAWING No. **A001**
SCALE @ A3 **1:100** ISSUE **1**



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THE OWNER / BUILDER, SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, SETBACKS AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORKS OR ORDERING MATERIALS AND SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARD CODES (CURRENT EDITIONS), BUILDING REGULATIONS, LOCAL BYLAWS AND TOWN PLANNING REQUIREMENTS.

DO NOT SCALE THIS DRAWING. DIMENSIONS AS SHOWN TO TAKE PRECEDENCE OVER SCALE. IF DISCREPANCIES OCCUR - CONTACT ARCHITECT OFFICE IMMEDIATELY.

ALL MEASUREMENTS ARE IN MILLIMETERS UNLESS OTHERWISE INDICATED. ALL SITE LEVELS ARE IN METERS, UNLESS OTHERWISE INDICATED.

INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY REQUIREMENTS. ALL DRAWINGS DENOTED WITH "DRAFT" OR "PRELIMINARY" ARE STRICTLY ONLY FOR USE BETWEEN THIS OFFICE AND THE CLIENT. THESE DRAWINGS ARE NOT FOR PERMIT APPROVAL, QUOTATION OR TO BE USED BY BUILDERS. WORKING DRAWINGS TO BE READ IN CONJUNCTION WITH ENGINEERS STRUCTURAL OR CIVIL DRAWINGS, COMPUTATIONS, SOIL REPORTS, SPECIFICATIONS AND ALL OTHER DOCUMENTATION PROVIDED.

THE NOTES ARE NEITHER EXHAUSTIVE NOR A SUBSTITUTE FOR REGULATIONS, STATUTORY REQUIREMENTS, BUILDING PRACTICE OR CONTRACTUAL OBLIGATIONS, AND UNLESS EXPRESSLY STATED OTHERWISE, ARE PROVIDED ONLY AS GUIDELINES.

THE BUILDER MUST TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF NEW AND EXISTING STRUCTURES DURING ALL CONSTRUCTION WORKS.

THE BUILDER MUST TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF ALL PERSONS WITHIN THE BUILDING SITE.

DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE STRUCTURE IN A STABLE CONDITION AND ENSURING NO PART IS OVERSTRESSED UNDER CONSTRUCTION ACTIVITIES.

DRAWINGS ARE TO BE READ IN-CONJUNCTION WITH CIVIL & STRUCTURAL ENGINEER'S DRAWINGS PREPARED BY: KNK CONSULTING ENGINEERS (PH 03 9001 1360)

SOIL CLASSIFICATION AND SITE TESTING REPORT PREPARED BY : SOIL TEST MELBOURNE CLASSIFICATION : P DATE: 22/02/2022 REPORT NO : 09578

BCA AND STANDARDS
ALL WORKS SHALL COMPLY WITH THE BCA AND NOT TO BE LIMITED TO THE FOLLOWING AUSTRALIAN STANDARD:
· AS 1288-2021 - GLASS IN BUILDINGS SELECTIONS AND INSTALLATIONS
· AS 1562-2018 - DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING. PART 1 METAL
· AS 1684.2-2021 - RESIDENTIAL TIMBER FRAMED CONSTRUCTION
· AS 1860-2006 - INSTALLATION OF PARTICAL BOARD FLOORING
· AS 2047-2014 - WINDOWS IN BUILDINGS SELECTIONS AND INSTALLATIONS

· AS 2049-2002 - ROOF TILES
· AS 2050-2018 - INSTALLATION OF ROOFING TILES
· AS 2870-2011 - RESIDENTIAL SLABS AND FOOTING CONSTRUCTION
· AS 2904-1995 - DAMP PROOF COURSES AND FLASHING
· AS 3600-2018 - CONCRETE STRUCTURES
· AS 3660.1-2014 & BCA PART 3.4 - PROTECTION OF BUILDING AGAINST SUBTERRANEAN TERMITES PART 1 NEW BUILDINGS
· AS 3700-2018 - MASONRY STRUCTURES
· AS 3740-2021 & BCA PART 10.2 WATERPROOF OF WET AREAS IN RESIDENTIAL BUILDINGS
· AS 3786-2014 - SMOKE ALARMS
· AS 4100-2020 - STEEL STRUCTURES
· AS 4256-2006 - PLASTIC ROOF AND WALL CLADDING MATERIALS

STRUCTURAL REQUIREMENTS
· FOOTINGS NOT TO ENCROACH TITLE BOUNDARIES AND EASEMENT LINES
· FOOTING TO BE FOUNDED AT THE MINIMUM DEPTHS INDICATED IN THE SOIL REPORT
· ALL CONCRETE FOOTINGS AND FOUNDATION WORK MUST BE IN ACCORDANCE WITH AS.2870, AND MUST BE READ STRICTLY IN CONJUNCTION WITH THE RELEVANT SOIL REPORT AND ENGINEERING DOCUMENTATION PROVIDED.
· CONCRETE WORKS MUST COMPLY WITH THE ENGINEERS DOCUMENTATION, AND BE IN ACCORDANCE WITH AS 3600.
· ALL MASONRY CONSTRUCTION TO COMPLY WITH AS.3700 AND THE BUILDING CODE OF AUSTRALIA.
· ALL DAMP PROOF COURSES AND FLASHING MUST BE IN ACCORDANCE WITH AS.2904.
· STRUCTURAL STEEL WORK MUST BE IN ACCORDANCE WITH AS.4100.
· ALL TIMBER FRAMING MUST BE IN ACCORDANCE WITH AS.1684. PROVIDE DOUBLE STUDS TO ALL OPENINGS GREATER THAN 1500mm.
· PROVIDE BRACING TO ALL INTERNAL AND EXTERNAL WALLS AS PER AS.1684.

SUB-FLOOR VENTILATION IS TO BE INSTALLED AT A MINIMUM OF EVERY 6000sqm PER METER RUN OF WALL IN COMPLIANCE WITH BCA PART 6.2 THE SUB FLOOR ACCESS DOOR IS TO BE LOCATED IN A READILY ACCESSIBLE POSITION.

CONVENTIONAL TIMBER FLOOR CONSTRUCTION TO ENGINEERS DETAILS PROVIDE CLEARANCE FROM UNDERSIDE OF BEARER TO FINISHED GROUND LEVEL OF 150mm FOR FLOORS WITH STRIP FLOORING AND 200mm FOR FLOORS WITH PARTICLE BOARD FLOORING OR 400MM WHERE IN TERMITE PRONE AREA

REINFORCED CONCRETE FLOOR SLAB TO ENGINEER DESIGN AND COMPLY WITH BCA PART 4.2 AND AS 2870. PROVIDE 0.2mm POLYTHENE MOISTURE BARRIER UNDER SLAB, ON 50mm SAND BED, 150mm FREEBOARD TO SLAB FLOORS.

MASONRY
PROVIDE WALL TIES TO BRICKWORK AT MAX 600mm CENTERS IN BOTH DIRECTIONS AND WITHIN 300mm OF ARTICULATION JOINTS.

ARTICULATION JOINTS TO COMPLY WITH BCA PART 5.6.8 (MIN EVERY 6000mm CENTERS)

WEEP HOLES AT 1200mm SPACING LOCATED ABOVE WINDOW OPENINGS OF MORE THAN 1000mm WIDE, IN ACCORDANCE WITH BCA PART 5.7.5

DRAINAGE
CONNECT STORM WATER AND SEWER DRAWINGS VIA EXISTING SWD SYSTEM TO LEGAL POINT OF DISCHARGE. ALL DRAINS SHALL COMPLY WITH LOCAL AUTHORITIES REGULATION AND AS 2003 / AS 3500.5-2021.

ALL EXISTING UNDERGROUND SERVICES ARE TO BE LOCATED PRIOR TO EXCAVATION FOR NEW PIPE LINES AND NO EXISTING SERVICE SHALL BE DISCONNECTED OR DISTURBED WITHOUT APPROVAL FROM ENGINEER.

AGI DRAINS TO BE 90mm DIA. UPVC IN GEOTEXTILES SOCK WITH AGGREGATE COVER TO THE BASE OF ALL EXCAVATION BANKS AND RETAINING WALLS CONNECTED TO STORM WATER DRAIN VIA SILT PIT.

STORMWATER DRAINS SHALL BE 100mm DIA. AT A GRADE OF 1:100 UNLESS NOTED OTHERWISE BY ENGINEER.

THE SITE SHOULD BE DRAINED SO THAT WATER CANNOT POND AGAINST OR NEAR BUILDINGS. THE GROUND ADJACENT TO THE BUILDINGS SHOULD BE GRADED TO FALL 50mm OVER THE FIRST METER. WHERE IT IS IMPRACTICAL FOR SLOPING SITES USE AGI DRAIN ADJACENT TO THE FOOTINGS WHERE THE GROUND FALLS TOWARDS THE BUILDING.

SURFACE DRAINAGE
THE GROUND BENEATH SUSPENDED FLOORS MUST BE GRADED SO THAT THE AREA BENEATH THE BUILDING IS ABOVE THE ADJACENT EXTERNAL FINISHED GROUND LEVEL AND SURFACE WATER IS PREVENT FROM PONDING UNDER THE BUILDING.

UNLESS NOTED OTHERWISE ALL BATTERS TO EXCAVATIONS TO BE AT 45° MAX.

WET AREAS
ALL WET AREAS TO COMPLY WITH BCA PART 10.2 & AS3740-2021.
IMPERVIOUS WALL FINISHES TO A HEIGHT OF 1800mm VERTICAL OF FLOOR TO SHOWER ENCLOSURES AND 1500mm ABOVE BATHS, BASINS, SINKS AND TROUGHS IF WITHIN 75mm FROM WALL.
THE FLOOR WASTE IN BOTH ENCLOSED AND UNENCLOSED WET AREA FLOORS MUST BE INSTALLED WITH A MINIMUM 1:80 AND A MAXIMUM CONTINUOUS FALL OF 1:50 FROM THE FLOOR PLANE TO THE WASTE. IMPERVIOUS FLOOR COVERINGS TO ALL WET ARAES TO THE SATISFACTION OF THE BUILDING SURVEYOR

SHOWER AREAS TO BE NOTCHED INTO FLOOR STRUCTURE FOR SCREED AND WATERPROOFING UNLESS NOTED OTHERWISE. REFER ENGINEER DRAWINGS FOR STRUCTURAL REQUIREMENTS.

WATERPROOFING
WATERPROOFING OF WET AREAS, BEING BATHROOMS, SHOWERS, LAUNDRIES AND SANITARY COMPARTMENTS AND THE LIKE SHALL BE PROVIDED IN ACCORDANCE WITH PART 10.2.2 TO 10.2.6 OF THE ABCB HOUSING PROVISIONS

TRUSSES / POSI STRUT
ALL ROOF TRUSSES OR POSI STRUT ARE TO BE CONSTRUCTED AND ASSEMBLED AS PER THE MANUFACTURERS DESIGN AND SPECIFICATIONS. MANUFACTURERS COMPUTATIONS ARE TO BE PROVIDED PRIOR TO FRAME INSPECTION.

ROOFING
ALL DOWNPIPES SHALL BE 90mm DIAMETER COLORBOND AND BE NO FURTHER THAN 12M APART.
EXPOSED COLORBOND GUTTERS AND FASCIAS INSTALLED AS PER BCA 7.4. EXCEPT STATED OTHERWISE, ALL BOX GUTTER SHALL BE MINIMUM 300mm X 150mm DEEP AND BE CONSTRUCTED FROM 0.48mm ZINCALUME SHEET ON 19mm THICK ALL WEATHER PLYWOOD SUBSTRATE ON 1:200 MIN FALL. PROVIDE ONE POP OUTLET FOR EACH BOX GUTTER AND SUMP.

CEILING HEIGHT
MUST NOT BE LESS THAN :
· 2400mm IN A HABITABLE ROOM EXCLUDING A KITCHEN
· 2100mm IN A KITCHEN, CORRIDOR, PASSAGEWAY OR BATHROOM, SHOWER, LAUNDRY, TOILET, PANTRY, STORE, GARAGE OR THE LIKE.
· 2100mm IN AN ATTIC ROOM WITH A SLOPING CEILING.
· 2000mm IN A STAIRWAY MEASURED VERTICALLY ABOVE THE NOSING LINE.

GENERAL TIMBER FRAMING SPECIFICATION
STUDS : 90x45mm MGP 10 STUDS @450 CTRS
2x90x45mm MIN JAMB STUDS
90x35mm NOGGINS @ 1350 CTRS
WALL BRACING AS PER ENGINEER DESIGN
PLATES : 90x45mm MGP 10
CEILING BATTENS : 35x70mm MGP10 @ 450 CTRS
LINTELS : 1000mm SPAN 90x45mm F17 KDHW
ROOF BRACING, RAFTER AND TRUSSES AS PER ENGINEER DESIGN.
FLOORING : 19mm YELLOW TONGUE
JOIST, BEARERS, STUMPS AND PAD FOOTING AS PER ENGINEER DESIGN.
ALL TIMBER FRAMING TO COMPLY WITH AS1684.

TERMITE AND CORROSION PREVENTION
WHERE THE BUILDING IS LOCATED IN A TERMITE PRONE AREA, THE AREA TO THE UNDERSIDE OF THE BUILDING AND THE PERIMETER IS TO BE TREATED AGAINST TERMITE ATTACK, AS PER AS.3660.1

PROVIDE CORROSION PROTECTION FOR MASONRY WALL TIES IN ACCORDANCE WITH BCA 5.6.5. PROVIDE CORROSION PROTECTION OF BUILT IN STRUCTURAL STEEL MEMBERS SUCH AS STEEL LINTELS, SHELF ANGLES, CONNECTORS AND ACCESSORIES IN ACCORDANCE WITH BCA 6.3.9. PROVIDE CORROSION PROTECTION FOR SHEET ROOFING IN ACCORDANCE WITH BCA 7.2.2.

INTERNAL WALL & CEILING
ALL CEILING ARE LINED WITH 10mm PLASTERBOARD
ALL INTERNAL STUD WALL SHALL BE LINED WITH 10mm PLASTERBOARD
IN WET AREAS, 10mm WATER RESISTANT PLASTERBOARD.

INSULATION
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH APPROVED STAMPED PLANS WHICH HAVE BEEN ASSESSED BY AN ACCREDITED THERMAL ASSESSOR, WHERE PROVIDED. PROVIDE INSULATION AND GLAZING SPECIFICATIONS AS PER THE THERMAL ASSESSMENT REPORT, WHERE PROVIDED.

NATURAL LIGHTING & VENTILATION
NATURAL VENTILATION IS PROVIDED TO ALL HABITABLE ROOMS MIN 5% MIN OF THE FLOOR AREA AND DAYLIGHT MIN 10% OF FLOOR AREA.

ARTIFICIAL LIGHTING
ARTIFICIAL LIGHTING TO COMPLY WITH AS/NZS.1680.0-2009 AND BCA PART 3.12.5.5.
IN CLASS 1 BUILDING 5w/m2
ON A VERANDAH OR BALCONY 4w/m2
IN CLASS 10 (GARAGE/CARPORT/SHED) 3w/m2

MECHANICAL VENTILATION
PROVIDE EXHAUST FANS WHERE NATURAL VENTILATION IS NOT ACHIEVED IN WET AREAS INSTALLED IN ACCORDANCE WITH BCA PART 10.8.2, 25L/S FOR BATHROOM OR SANITARY COMPARTMENT.
ALL EXHAUST FANS ARE TO DISCHARGE TO THE EXTERIOR OF THE BUILDING (OUTSIDE AIR) OR VENTILATED ROOF SPACE.

ENERGY EFFICIENCY
FOR NEW DWELLINGS;
· SOLAR HOT WATER SYSTEM IS TO HAVE 60% SOLAR GAIN INSTALLED IN ACCORDANCE WITH THE PLUMBING REGULATION OR
· 2000 LITRE RAIN WATER TANK IS TO BE SERVED BY A ROOF AREA OF NO LESS THAN 50sqm CATCHMENTS AREA CONNECTED TO SANITARY FLUSHING SYSTEMS

SEAL ALL GAPS AND CRACKS FOR DRAUGHT PROOFING. SELF-SEALING DAMPERS REQUIRED FOR EXHAUST FANS AND EVAPORATIVE COOLERS. DAMPERS OR FLAPS REQUIRED FOR OPEN SOLID FUEL BURNING DEVICES. WEATHER SEALS FITTED TO ALL EXTERNAL DOORS. ROOF LIGHTS REQUIRED TO BE FITTED WITH WEATHER SEALS, SHUTTERS OR CEILING DIFFUSERS.

FOR MORE INFORMATION REFER ENERGY REPORT PREPARE BY **ENERGY PRINCIPLES**

SMOKE ALARM
SMOKE ALARMS TO COMPLY WITH AS3786-2023 AND TO BE INSTALLED IN ACCORDANCE WITH BCA PART 9.52. SMOKE ALARMS SHALL BE HARD WIRED TO ELECTRICAL MAINS AND INTERCONNECTED THROUGHOUT WITH BATTERY BACKUP.

WINDOW / DOOR / GLAZING
ALL WINDOWS SHALL CONFORM TO AS2047 AND ALL GLAZING TO AS1288 & BCA PART 8 GLAZING WITHIN 2000MM OF THE F.F.L. IN BATHROOMS OR ENSUITES IS TO BE GRADE 'A' SAFETY GLASS. FLASHING TO ALL SIDES OF WINDOW.

ALL DOORS WITH GLASS INFILL TO BE SAFETY GLASS.

WHERE DISTANCES FROM TOILET PAN TO ANY PART OF DOOR IS LESS THAN 1200mm THE DOOR IS TO OPEN OUTWARDS, SLIDE OR REMOVABLE FROM OUTSIDE A S PER B.C.A. PART 10.4.2
ALL ALL WINDOWS SIZES & CLEARANCES SHOWN ARE NOMINAL AND SHOULD BE COMPARED TO MANUFACTURER'S STANDARD SCHEDULE BEFORE CONSTRUCTION COMMENCES. NON-STANDARD WINDOWS TO HAVE SIZES CHECKED ON SITE PRIOR TO MANUFACTURING. REFER TO ELEVATIONS OR WINDOW SCHEDULE FOR TYPE.

WHERE THE FLOOR LEVEL IS MORE THAN 4000mm ABOVE THE ADJACENT GROUND LEVEL OPERABLE WINDOWS WITHIN 1000mm OF THE FINISHED FLOOR LEVEL SHALL BE RESTRICTED SO THE OPENINGS DO NOT EXCEED 125mm.

ALL WINDOWS AND EXTERNAL DOORS IN BUILDINGS TO COMPLY WITH AS2047, ALL GLASS IN BUILDINGS TO COMPLY WITH AS1288 AND NCC PART 8 GLAZING WITHIN BATHROOMS, ENSUITES AND THE LIKE TO HAVE GRADE 'A' SAFETY GLASS. PROVIDE INSULATION AND GLAZING SPECIFICATIONS AS PER THE THERMAL ASSESSMENT REPORT, WHERE PROVIDED. PROVIDE INSULATION AND GLAZING SPECIFICATIONS AS PER THE THERMAL ASSESSMENT REPORT, WHERE PROVIDED.

PLEASE NOTE THAT WINDOWS CAPABLE OF BEING MISTAKEN FOR A DOORWAY OR OPENING AND GREATER THAN 500mm IN WIDTH, 1000mm IN HEIGHT AND WITHIN 700mm OF THE FINISHED FLOOR ARE TO BE PROVIDED WITH A MID-HEIGHT MOTIF WITHIN ITS PANEL IN ACCORDANCE WITH PART 8.4.7 OF THE BCA.

GLAZING SHALL COMPLY WITH AS1288 & AS2047 WITH SAFETY GLAZING TO BE USED IN THE FOLLOWING CASES:
· ALL ROOMS WITHIN 500mm VERTICAL OF THE FLOOR
· BATHROOMS WITHIN 2000mm VERTICAL FROM THE BATH BASE
· LAUNDARY WITHIN 2000mm VERTICAL FROM FLOOR AND/OR WITHIN 300mm HORIZONTAL FROM ALL DOORS
· DOORWAY WITHIN 300mm HORIZONTAL FROM ALL DOORS, SHOWER SCREENS SHALL BE GRADE A SAFETY GLASS

ALL GLAZING SPECIFICATIONS TO BE IN ACCORDANCE WITH THE APPROVED THERMAL ASSESSMENT / ENERGY REPORT, BUILDER TO CONFIRM WINDOW SPECIFICATION PRIOR TO PLACING ORDER WITH MANUFACTURER.

PROTECTION OF OPERABLE WINDOWS
A WINDOW OPENING MUST BE PROVIDED WITH PROTECTION OF THE FLOOR BELOW THE WINDOW IN A BEDROOM IS 2000mm OR MORE THE SURFACE BENEATH. WHERE THE LOWEST LEVEL OF THE WINDOW OPENING IS LESS THAN 1700mm ABOVE FFL, THE OPENABLE PORTION OF THE WINDOW MUST COMPLY WITH THE FOLLOWING;
· PROTECTED WITH A DEVICE TO RESTRICT THE WINDOW OPENING OR
· MUST NOT PERMIT A 125mm SPHERE TO PASS THROUGH
· RESIST AN OUTWARD HORIZONTAL ACTION OF 250N
· HAVE A CHILD RESISTANT RELEASE MECHANISM

STAIRS, LANDINGS & BALUSTRADES
TO COMPLY WITH B.C.A. PART 11.2.1 and 11.2.2 STEP SIZES (OTHER THAN SPIRAL STAIRS) TO BE:
· RISERS 190mm MAXIMUM, 115mm MINIMUM;
· GOING 355mm MAXIMUM, 240mm MINIMUM;
· 1000mm HIGH BALUSTRADE & 865mm ABOVE STAIR NOSING
· 125mm MAXIMUM GAP BETWEEN RISERS
· PROVIDE 2000mm MIN HEAD ROOM CLEARANCE FROM TREAD.
· PRIVATE STAIRS (AND 250mm FOR PUBLIC STAIRS), RISERS AND TREADS TO BE CONSTANT IN SIZE THROUGHOUT FLIGHT.

MAX 3 RISERS OR 570mm WITHOUT A LANDING TO DOOR OPENING SLOPE RELATIONSHIP 2R + G 550MIN - 700MAX THE MAXIMUM GAP BETWEEN RISERS IN OPEN STAIRS IS 125mm WHERE THE STAIR IS IN EXCESS OF 1000mm ABOVE THE ADJACENT FLOOR LEVEL.

IF ANY PART OF RAISED FLOORING (DECKS INCLUDED) HAVE A FINISHED FLOOR LEVEL GREATER THAN 1000mm FROM THE FINISHED GROUND LEVEL, A BALUSTRADE WILL NEED TO BE PROVIDED TO THE PERIMETER OF THE DECK AT A MINIMUM HEIGHT OF 1000mm FROM THE DECK LEVEL AND A MAXIMUM GAP OF 125mm BETWEEN BALUSTRADES.

ANY HORIZONTAL ELEMENT WITHIN THE BALUSTRADE BETWEEN 150mm AND 760mm ABOVE FFL MUST NOT FACILITATE CLIMBING WHERE CHANGES IN LEVEL EXCEEDS 4000mm ABOVE THE SURFACE BENEATH

TREADS TO STAIRS
ALL TREADS ARE TO HAVE A NON-SLIP FINISH OR A NON-SLIP STRIP IS TO BE PROVIDED TO THE NOSING.
TREADS MUST HAVE THE FOLLOWING IN ACCORDANCE WITH CLAUSE 11.2.4
· A SURFACE WITH A SLIP-RESISTANCE CLASSIFICATION NOT LESS THAN P3 OR R10 IN DRY SURFACE CONDITIONS OR, P4 OR R11 IN WET SURFACE CONDITIONS.
· A NOSING STRIP WITH A SLIP-RESISTANCE CLASSIFICATION NOT LESS THAN P3 IN DRY SURFACE CONDITIONS OR, P4 IN WET SURFACE CONDITIONS.

HANDRAILS
A HANDRAIL IS TO BE PROVIDED ALONG AT LEAST ONE SIDE OF THE INTERNAL STAIRS. THE TOP SURFACE OF THE HANDRAIL IS TO BE NOT LESS THAN 865mm VERTICALLY ABOVE THE NOSING OF THE STAIR TREADS AND FLOOR SURFACE OF RAMPS, AND HAVE NO OBSTRUCTION ON OR ABOVE.

THRESHOLD
IF THE THRESHOLD SILL OF THE DOORWAY IS GREATER THAN 190mm ABOVE THE FINISHED SURFACE OF THE GROUND TO WHICH THE DOORWAY OPENS, A LANDING SHALL BE PROVIDED NO LESS THAN THE WITH OF THE DOOR, 1000mm X 900mm, WHICHEVER IS GREATER.

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1	TENDER ISSUE	16.10.24

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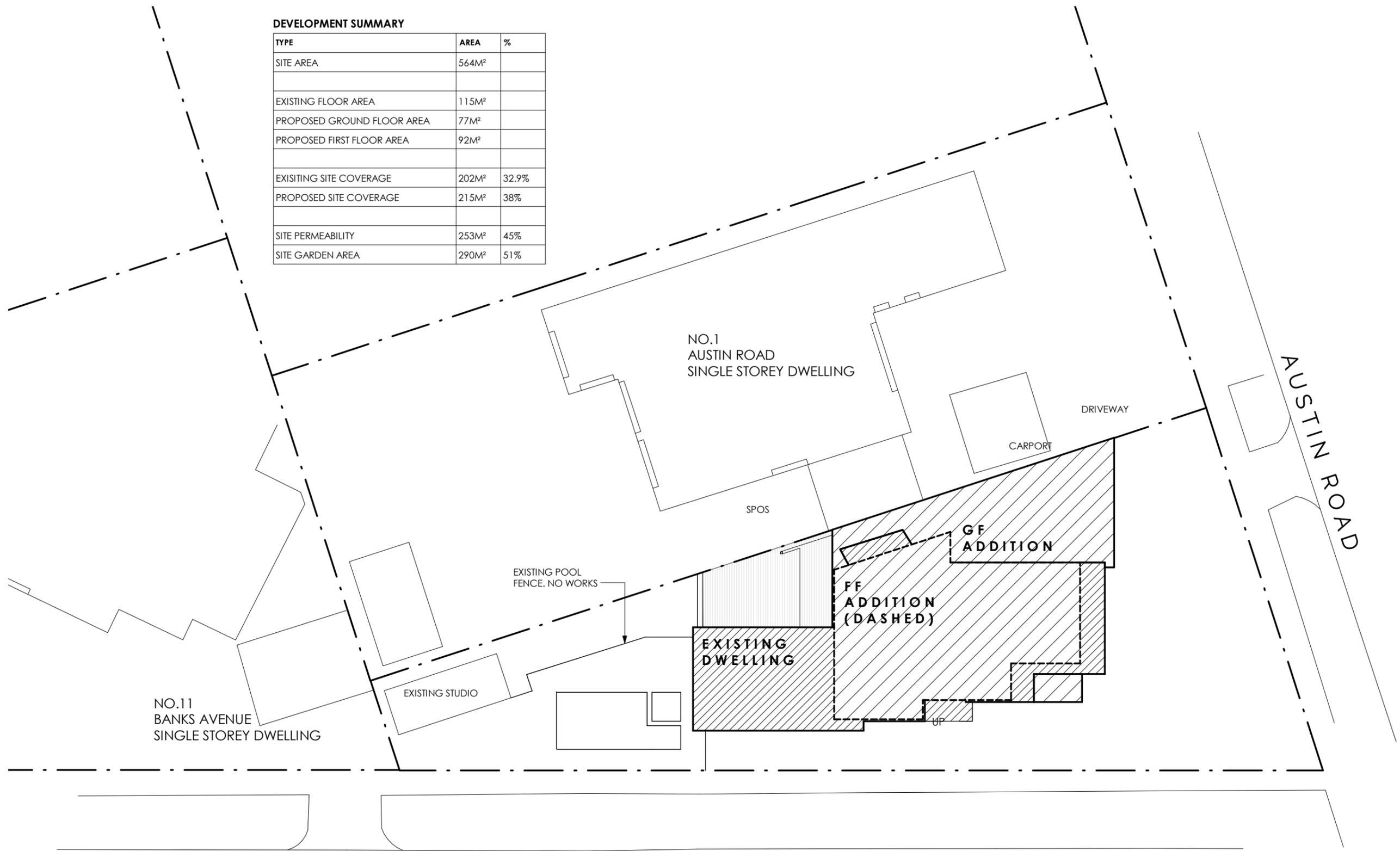
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DEVELOPMENT SUMMARY

TYPE	AREA	%
SITE AREA	564M ²	
EXISTING FLOOR AREA	115M ²	
PROPOSED GROUND FLOOR AREA	77M ²	
PROPOSED FIRST FLOOR AREA	92M ²	
EXISTING SITE COVERAGE	202M ²	32.9%
PROPOSED SITE COVERAGE	215M ²	38%
SITE PERMEABILITY	253M ²	45%
SITE GARDEN AREA	290M ²	51%



BANKS AVENUE

AUSTIN ROAD

**PERMIT
ISSUE**

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GENERAL NOTES:

CONTRACTORS & SUB CONTRACTORS SHALL VERIFY ALL DIMENSIONS OF THIS DRAWING & SITE CONDITIONS PRIOR TO ANY WORK COMMENCING

ALL SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT. THE MANUFACTURE SHALL NOT COMMENCE ANY WORKS PRIOR TO THE RETURN OF APPROVED SHOP DRAWINGS SIGNED BY THE RELEVANT CONSULTANTS.

FIGURES & DIMENSIONS TAKE PRECEDENCE OVER SCALE DIMENSIONS.

THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTORS, SPECIFICATIONS & DRAWINGS.

PROJECT
**ALTERATIONS & ADDITIONS
3 AUSTIN ROAD, HAMPTON**

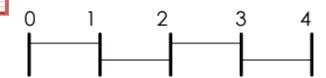
DRAWING
**SITE PLAN, ELECTRICAL &
SERVICES**

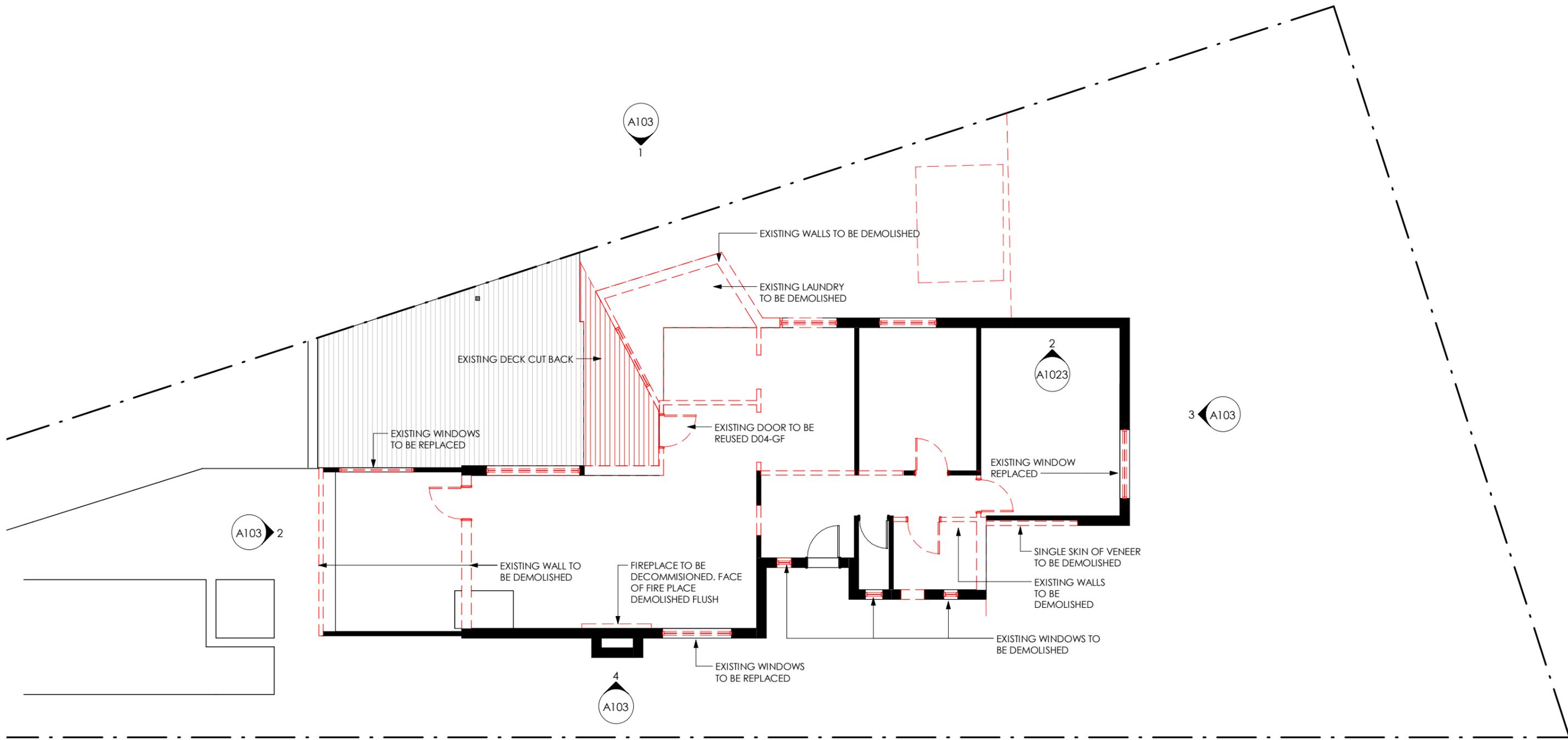
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PROJECT PREPARED BY
Bearwood
BUILDING

DRAWING No.
A100

SCALE
1:100





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ALL SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT. THE MANUFACTURE SHALL NOT COMMENCE ANY WORKS PRIOR TO THE RETURN OF APPROVED SHOP DRAWINGS SIGNED BY THE RELEVANT CONSULTANTS.

FIGURES & DIMENSIONS TAKE PRECEDENCE OVER SCALE DIMENSIONS.

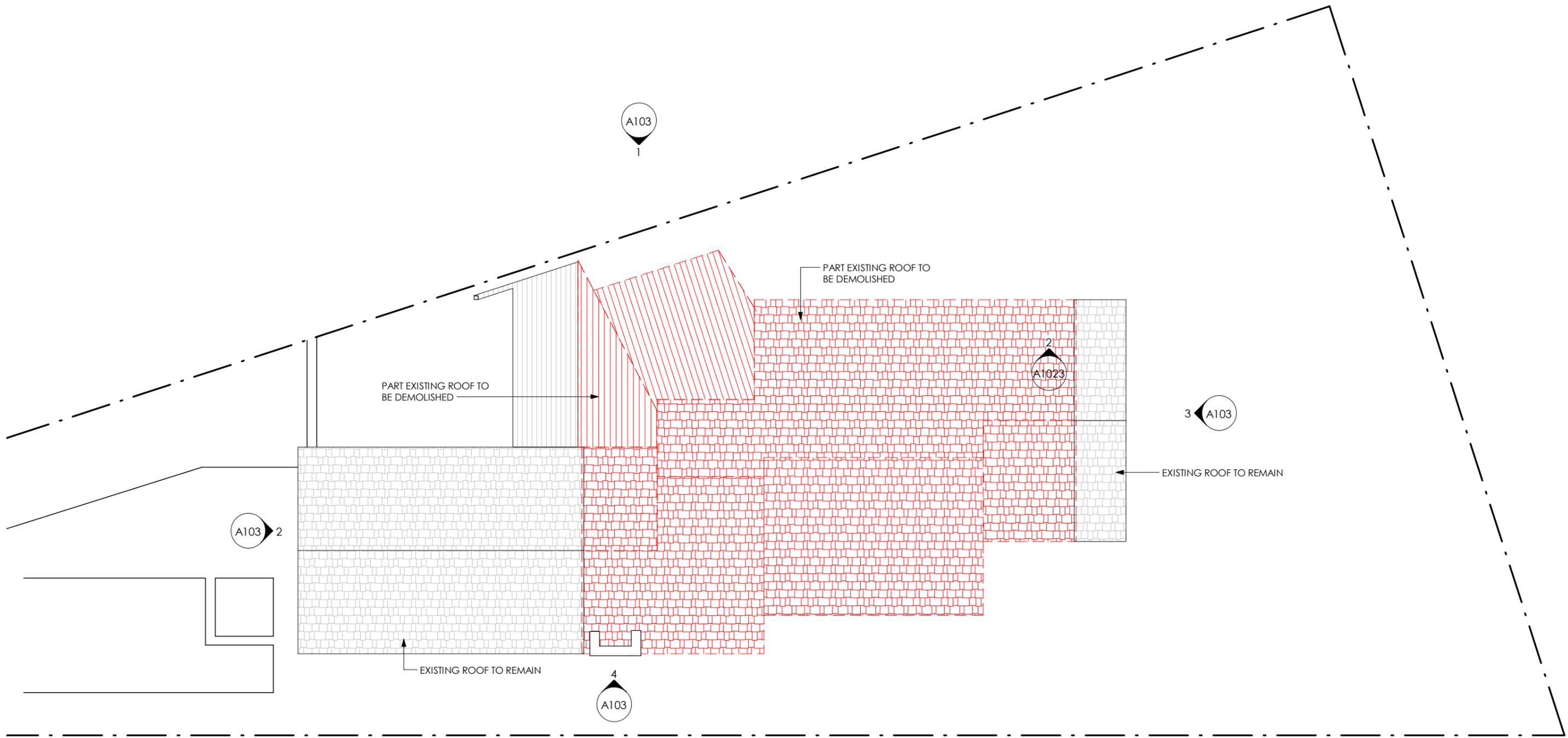
THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTORS, SPECIFICATIONS & DRAWINGS.

LEGEND	
	EXISTING WALLS TO BE REMOVED
	PROPERTY BOUNDARIES
	EASEMENTS

MBS
Metro Building Surveying
APPROVED BUILDING PERMIT
Permit No 1775635451113
Permit Date 10/12/2024
SCALE @ A3 ISSUE SCALE

PROJECT	DRAWING	DATE	PROJECT	PREPARED BY	DRAWING No.	SCALE	SCALE
ALTERATIONS & ADDITIONS 3 AUSTIN ROAD, HAMPTON	EXISTING & DEMO PLAN	NOV 24	-	<i>Bearwood</i> BUILDING	A101	1:100	1





PERMIT ISSUE

ISSUE	AMENDMENT	DATE
1	TENDER ISSUE	16.10.24

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PROJECT
**ALTERATIONS & ADDITIONS
3 AUSTIN ROAD, HAMPTON**

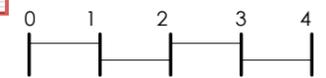
DRAWING
**EXISTING & DEMO ROOF
PLAN**

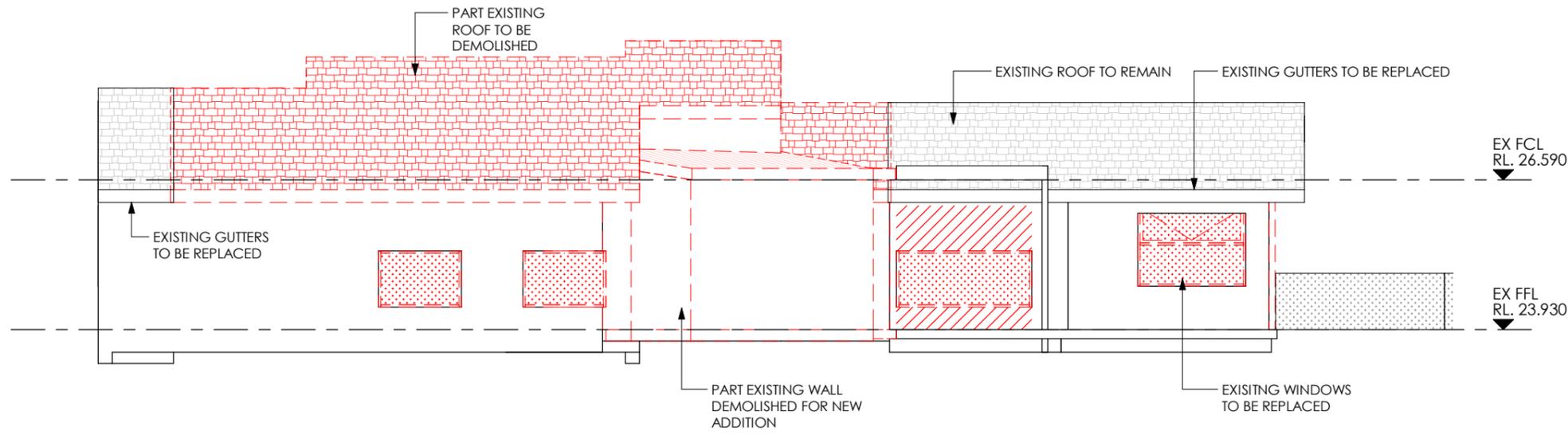
DATE
NOV 24

PROJECT PREPARED BY
**Bearwood
BUILDING**

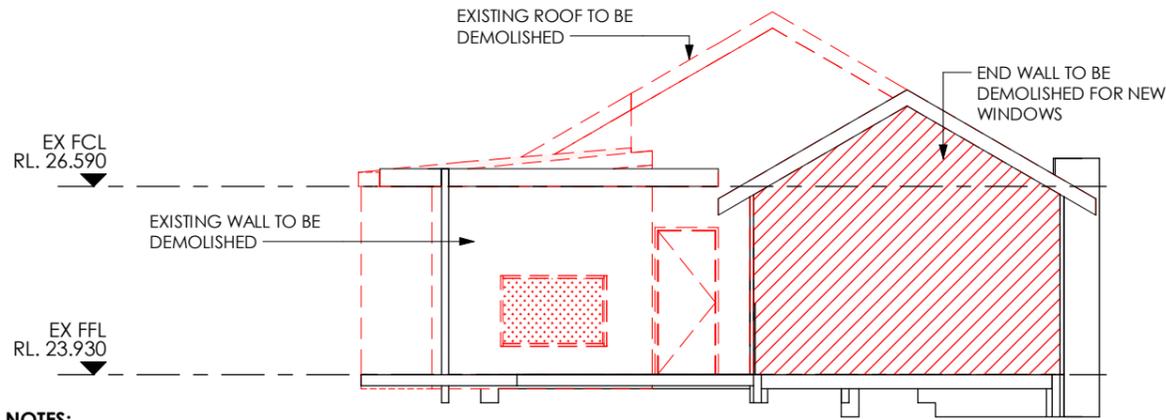
DRAWING No.
A102

SCALE @ A3 ISSUE SCALE
1:100 1

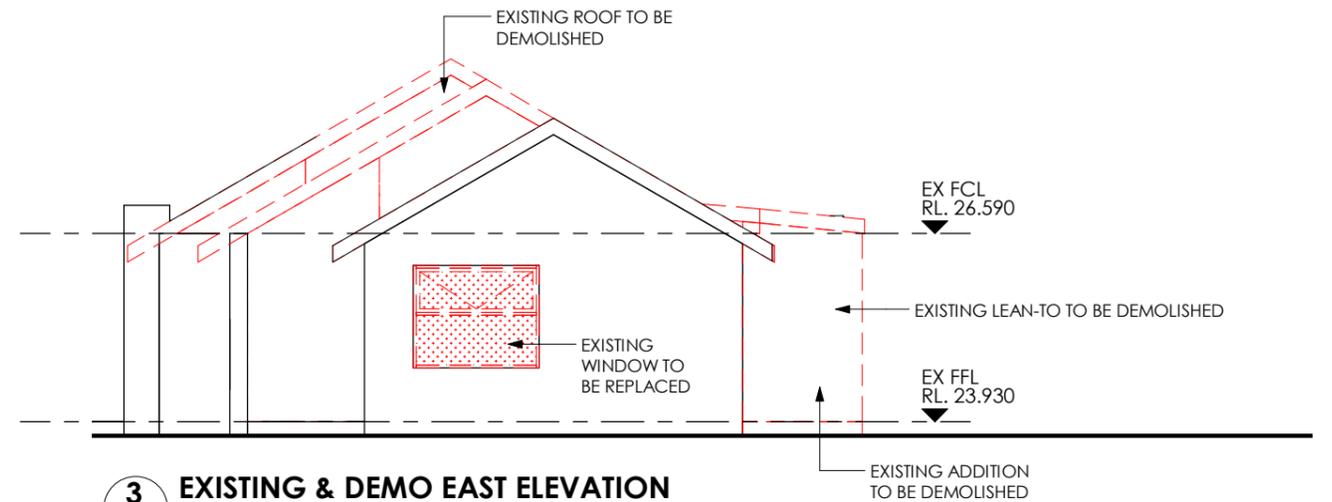




1 EXISTING & DEMO NORTH ELEVATION
 A101 SCALE 1 : 100 (A3)



2 EXISTING & DEMO WEST ELEVATION
 A101 SCALE 1 : 100 (A3)



3 EXISTING & DEMO EAST ELEVATION
 A101 SCALE 1 : 100 (A3)

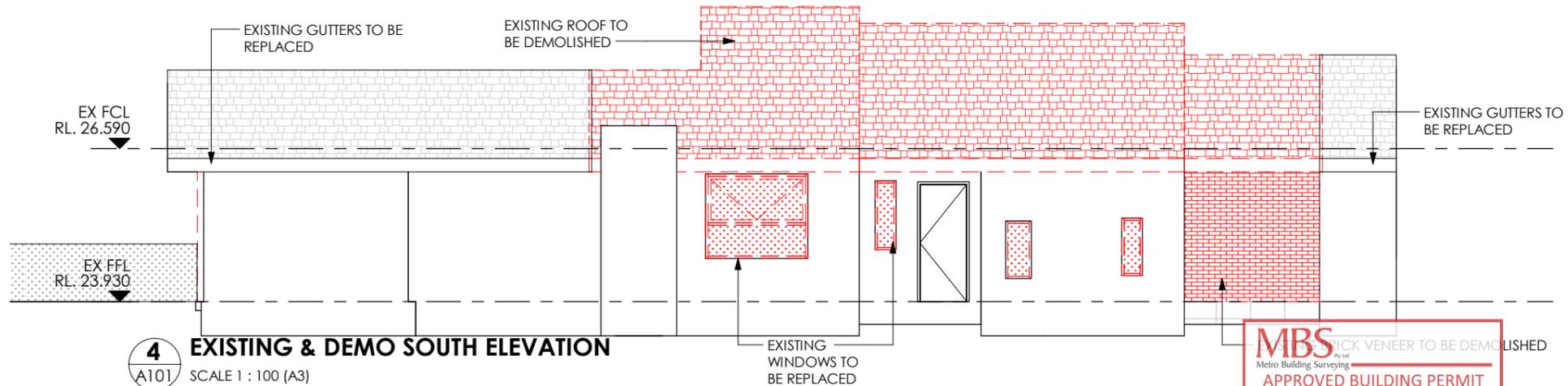
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4 EXISTING & DEMO SOUTH ELEVATION
 A101 SCALE 1 : 100 (A3)

**PERMIT
 ISSUE**

ISSUE	AMENDMENT	DATE
1	TENDER ISSUE	16.10.24

PROJECT
**ALTERATIONS & ADDITIONS
 3 AUSTIN ROAD, HAMPTON**

DRAWING
**EXISTING & DEMO
 ELEVATIONS**

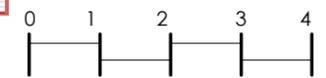
DATE
NOV 24

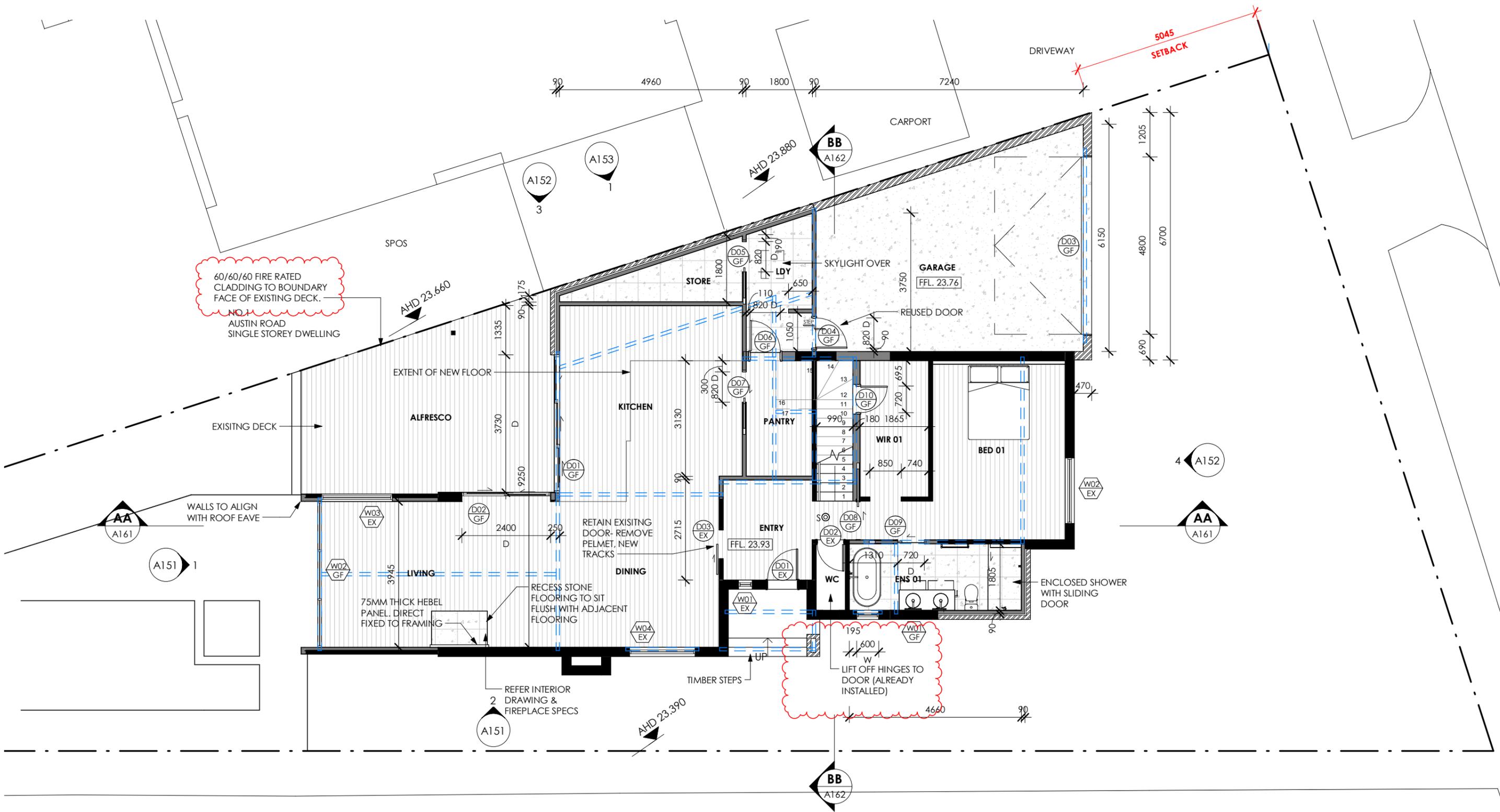
PROJECT PREPARED BY
**Bearwood
 BUILDING**

DRAWING No.
A103

1:100 1

MBS
 Metro Building Surveying
APPROVED BUILDING PERMIT
 Permit No 1775635451113
 Permit Date 10/12/2024
 SCALE @ A3 ISSUE SCALE





PERMIT ISSUE

ISSUE	AMENDMENT	DATE
1	TENDER ISSUE	16.10.24
2	BS RFI	21.10.24

GENERAL NOTES:

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PROJECT
**ALTERATIONS & ADDITIONS
3 AUSTIN ROAD, HAMPTON**

DRAWING
**PROPOSED GROUND
FLOOR PLAN**

DATE
NOV 24

PROJECT PREPARED BY
**Bearwood
BUILDING**

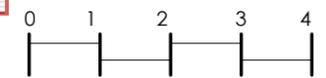
DRAWING No.
A111

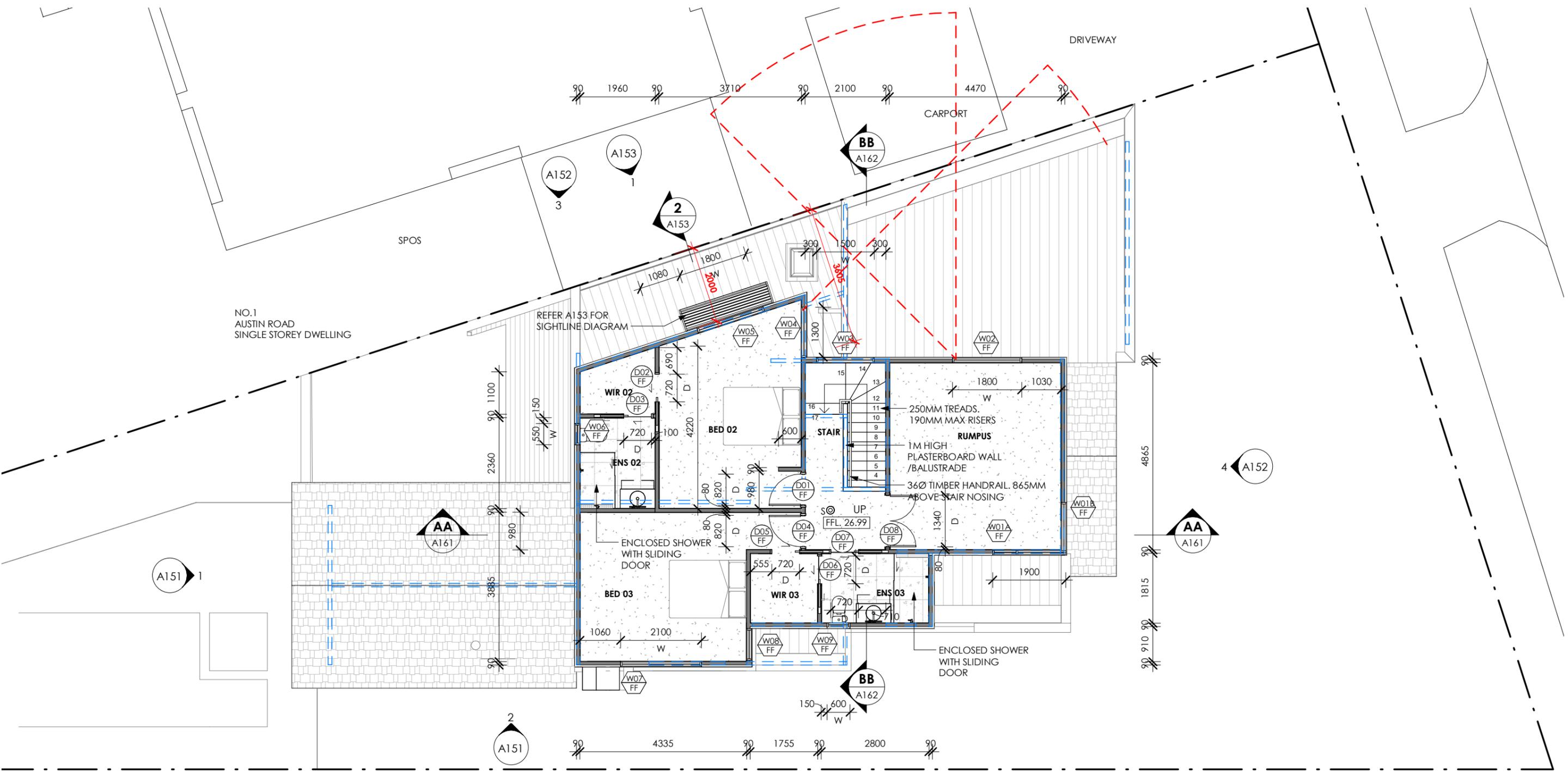
SCALE @ A3
1:100

ISSUE
2

CONSTRUCTION KEY

- EXISTING WALLS TO REMAIN
- NEW WINDOW
- NEW TIMBER FRAMED WALLS
- NEW DOOR
- INTERCONNECTED SMOKE DETECTOR





PERMIT ISSUE

ISSUE	AMENDMENT	DATE
1	TENDER ISSUE	16.10.24

GENERAL NOTES:

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PROJECT
**ALTERATIONS & ADDITIONS
3 AUSTIN ROAD, HAMPTON**

DRAWING
**PROPOSED FIRST FLOOR
PLAN**

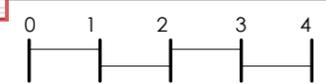
DATE
NOV 24

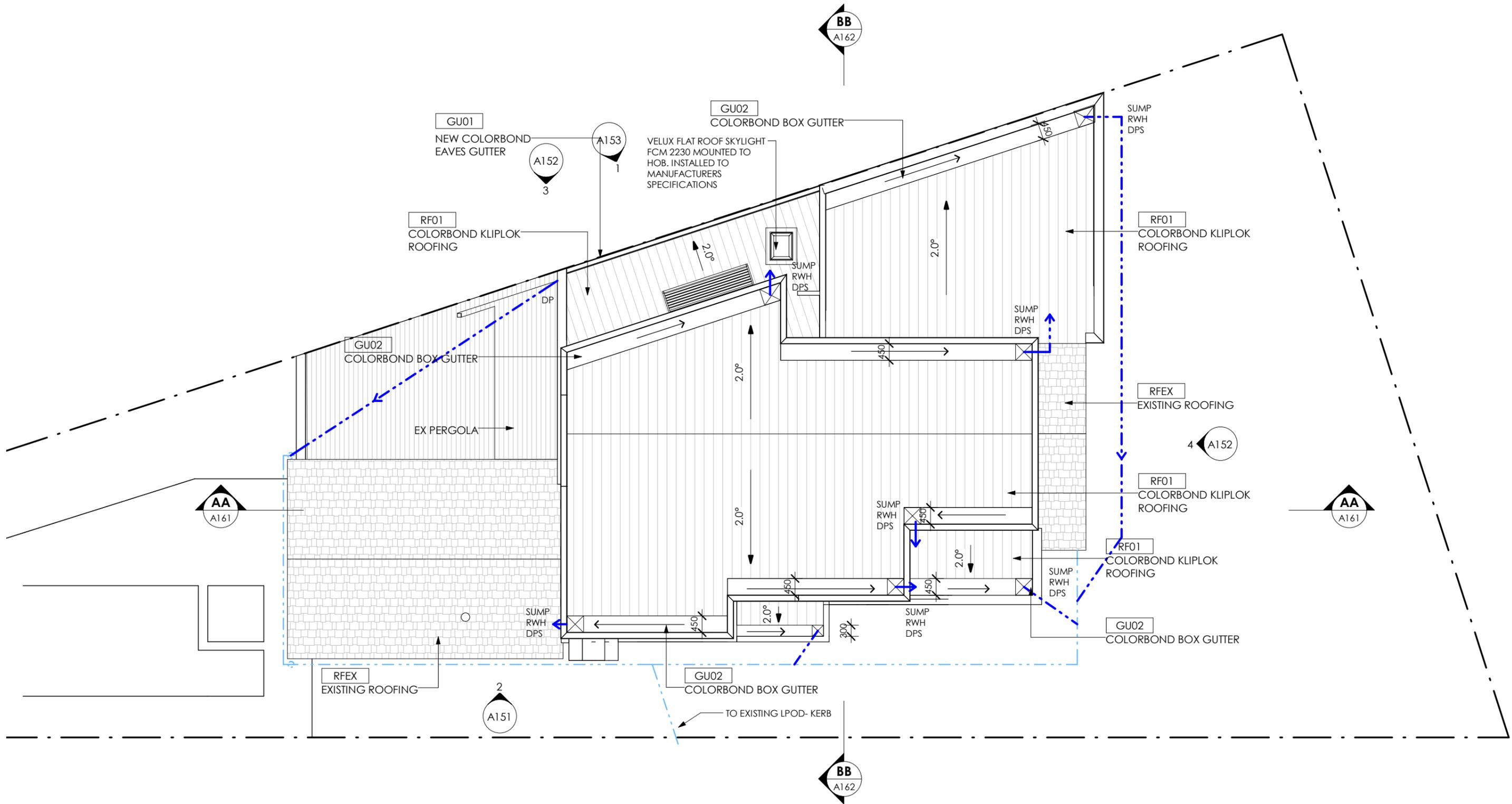
PROJECT PREPARED BY
**Bearwood
BUILDING**

DRAWING No.
A112



1:100 1





PERMIT ISSUE

ISSUE	AMENDMENT	DATE
1	TENDER ISSUE	16.10.24

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PROJECT
**ALTERATIONS & ADDITIONS
3 AUSTIN ROAD, HAMPTON**

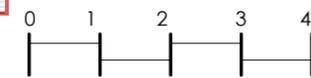
DRAWING
PROPOSED ROOF PLAN

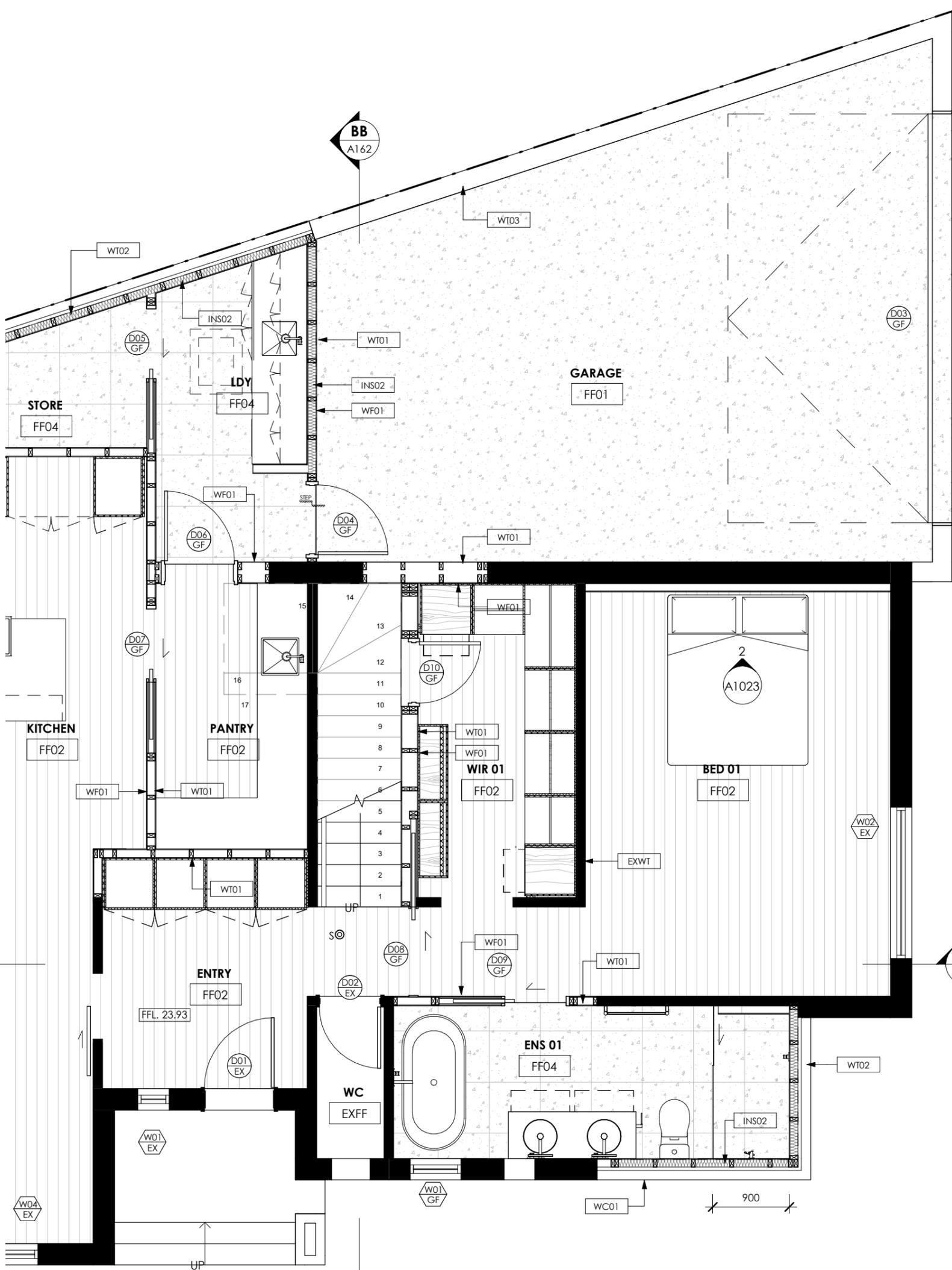
DATE
NOV 24

PROJECT PREPARED BY
**Bearwood
BUILDING**

DRAWING No.
A113

SCALE
1:100





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PERMIT ISSUE

ISSUE	AMENDMENT	DATE	CHK'D
1	TENDER ISSUE	16.1	0-24

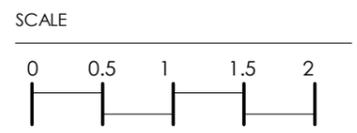
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PROJECT
**ALTERATIONS & ADDITIONS
3 AUSTIN ROAD, HAMPTON**

DRAWING
ENLARGED FLOOR PLAN - A

FINISHES KEY

FF01	EPOXY FLOORING
FF02	TIMBER OVERLAY FLOORBOARDS OVER YELLOW TOUNGE FLOORING- FLOORBOARDS BY OTHERS
FF03	SELECTED CARPET WITH FOAM UNDERLAY OVERYELLOW TOUNGE FLOORING
FF04	600X600 FLOOR TILES OVER SCYON CEMENT SHEET FLOORING
S⊙	INTERCONNECTED SMOKE DETECTOR

MBS
Metro Building Surveying
DATE **NOV 24**
APPROVED BUILDING PERMIT
Permit No 1775635451113
Permit Date 10/12/2024:50

PROJECT No.	-
DRAWN	LC
DRAWING No.	A121
ISSUE	1

FINISHES KEY

FF01	EPOXY FLOORING
FF02	TIMBER OVERLAY FLOORBOARDS OVER YELLOW TOUNGE FLOORING- FLOORBOARDS BY OTHERS
FF03	SELECTED CARPET WITH FOAM UNDERLAY OVERYELLOW TOUNGE FLOORING
FF04	600X600 FLOOR TILES OVER SCYON CEMENT SHEET FLOORING
S⊙	INTERCONNECTED SMOKE DETECTOR

GENERAL NOTES:

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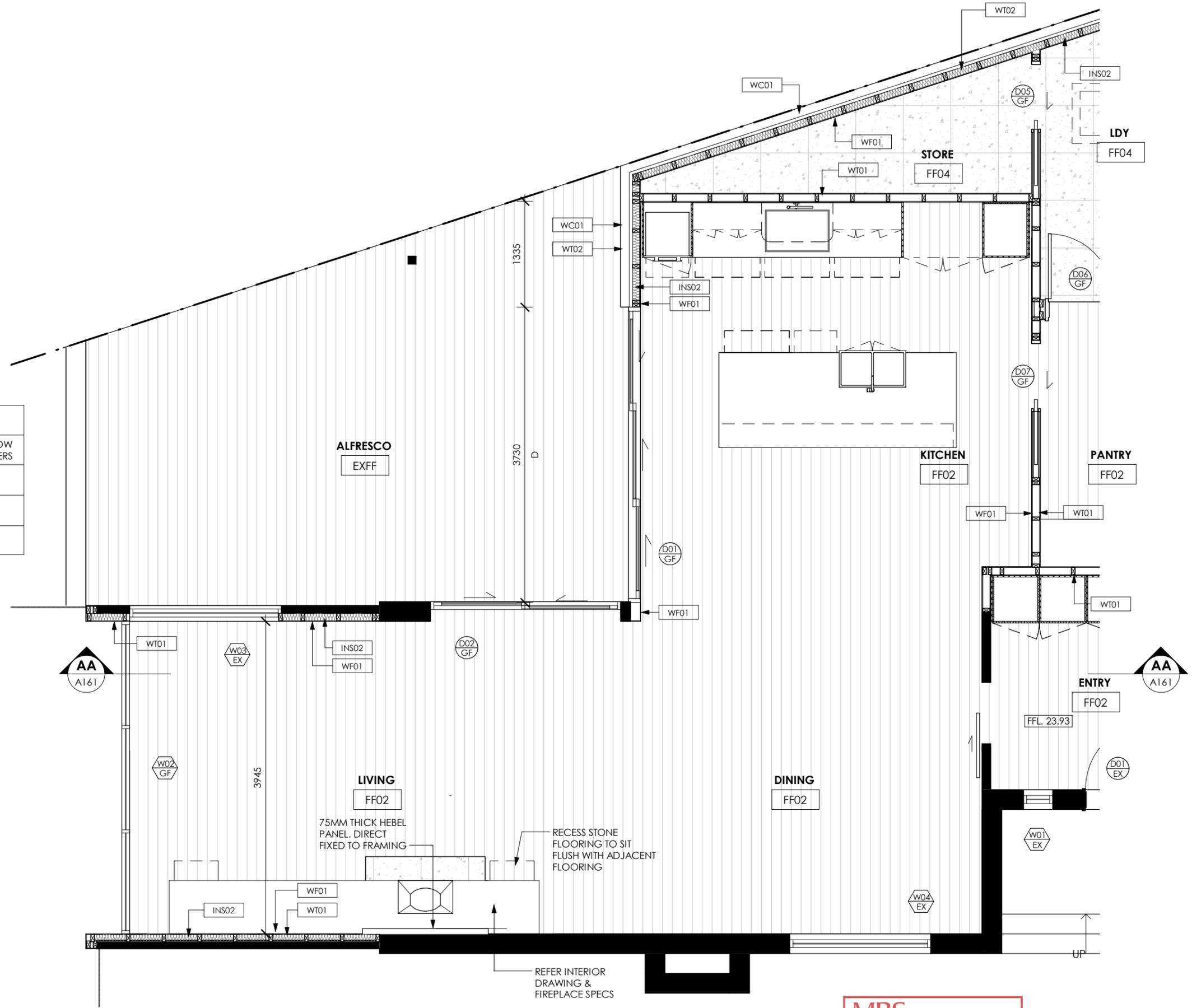
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PERMIT ISSUE

ISSUE	AMENDMENT	DATE
1	TENDER ISSUE	16.10.24



PROJECT	DRAWING	DATE	PROJECT	PREPARED BY	DRAWING No.	SCALE	ISSUE	SCALE
ALTERATIONS & ADDITIONS 3 AUSTIN ROAD, HAMPTON	ENLARGED FLOOR PLAN - B	NOV 24	-	Bearwood BUILDING	A122	1:50	1	0 0.5 1 1.5 2

MBS
Metro Building Surveying
APPROVED BUILDING PERMIT
Permit No 1775635451113
Permit Date 10/12/2024
SCALE @ A3



FINISHES KEY

FF01	EPOXY FLOORING
FF02	TIMBER OVERLAY FLOORBOARDS OVER YELLOW TOUNGE FLOORING- FLOORBOARDS BY OTHERS
FF03	SELECTED CARPET WITH FOAM UNDERLAY OVERYELLOW TOUNGE FLOORING
FF04	600X600 FLOOR TILES OVER SCYON CEMENT SHEET FLOORING
S⊙	INTERCONNECTED SMOKE DETECTOR

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PERMIT ISSUE

ISSUE	AMENDMENT	DATE
1	TENDER ISSUE	16.10.24

PROJECT
**ALTERATIONS & ADDITIONS
3 AUSTIN ROAD, HAMPTON**

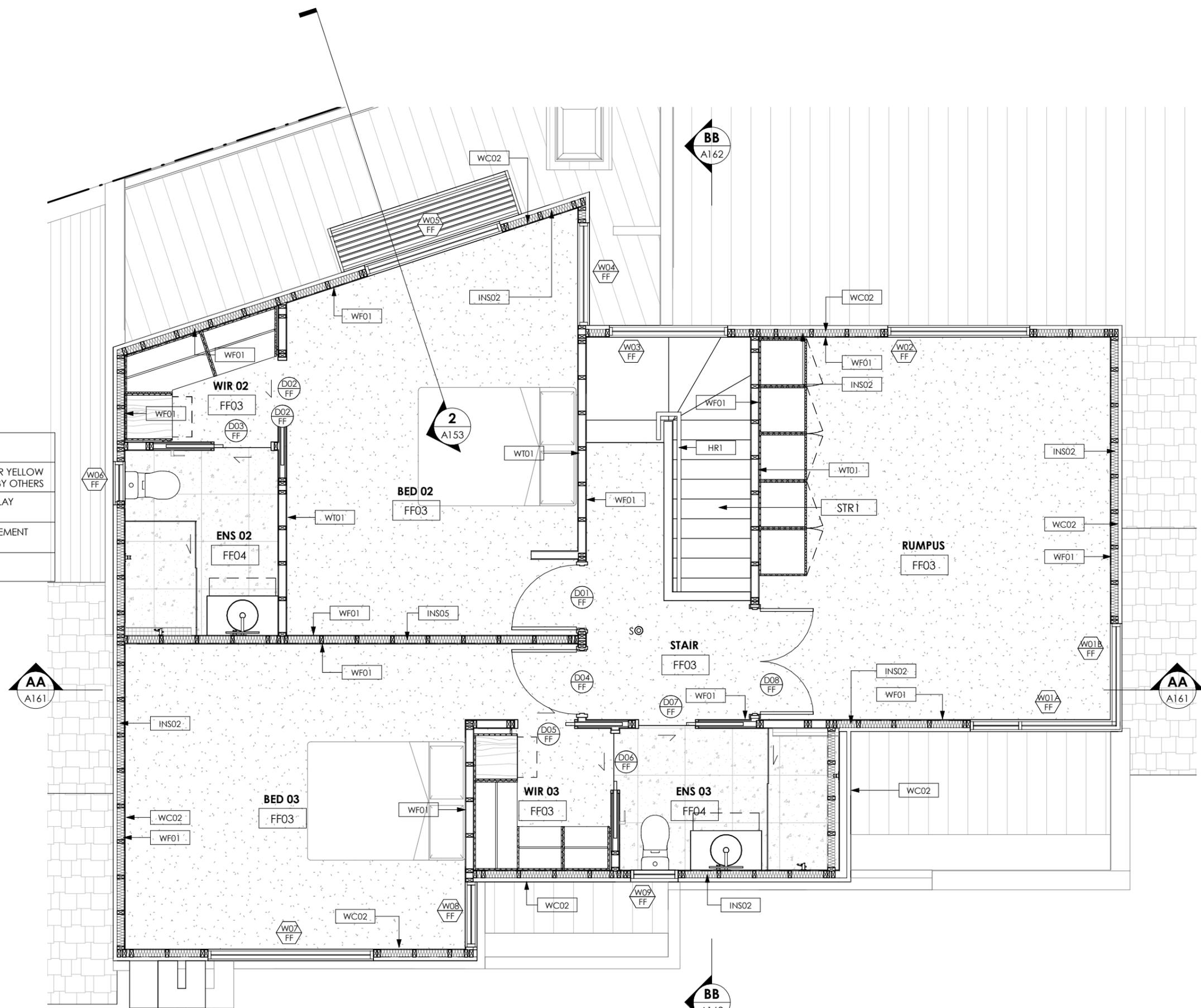
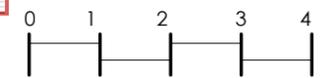
DRAWING
ENLARGED FLOOR PLAN - C

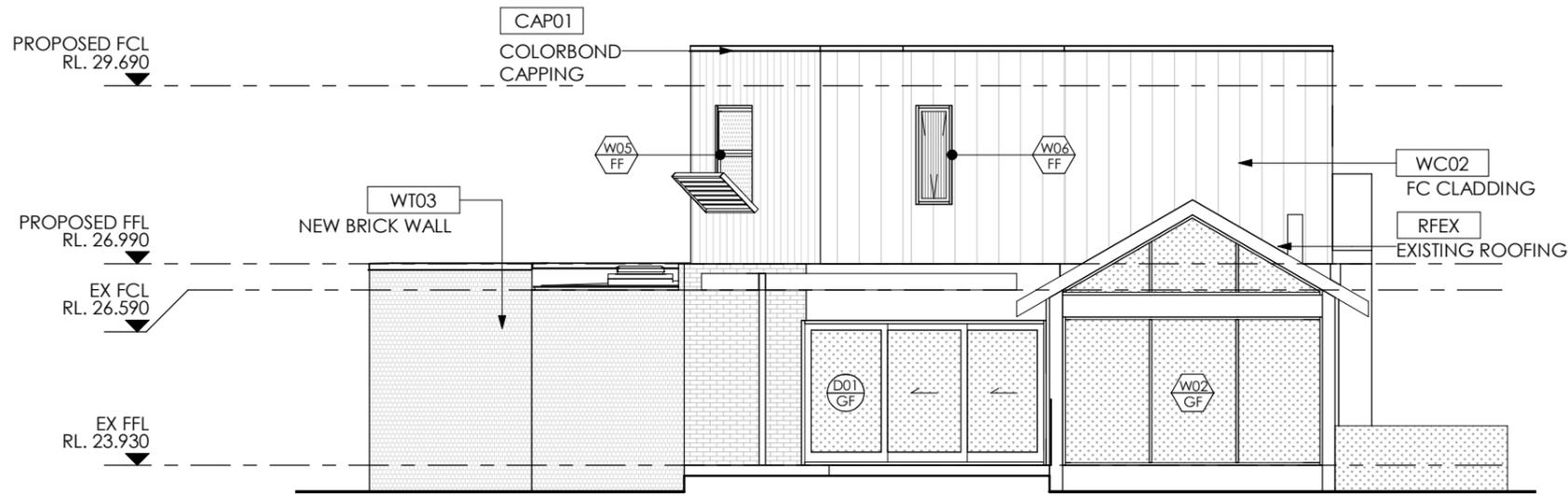
DATE
NOV 24

PROJECT PREPARED BY
Bearwood
BUILDING

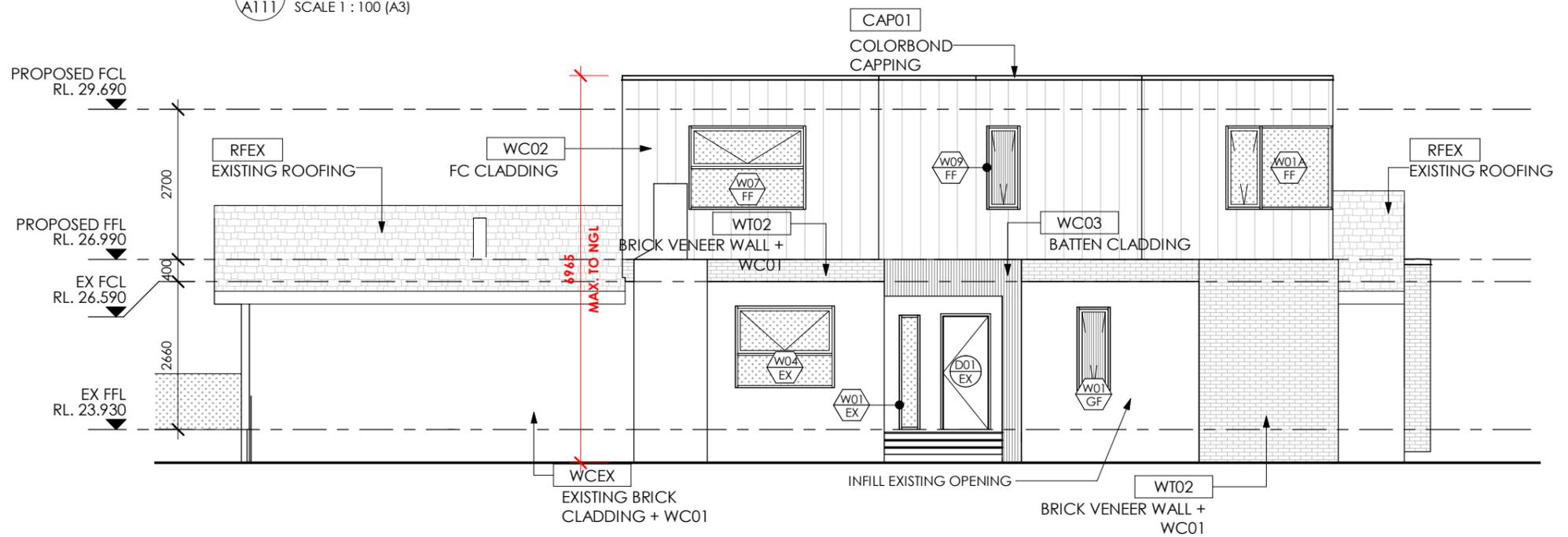
DRAWING No.
A123

SCALE
1:100





1 PROPOSED WEST ELEVATION
A111 SCALE 1 : 100 (A3)



2 PROPOSED SOUTH ELEVATION
A111 SCALE 1 : 100 (A3)

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PERMIT ISSUE

ISSUE	AMENDMENT	DATE
1	TENDER ISSUE	16.10.24

PROJECT
**ALTERATIONS & ADDITIONS
3 AUSTIN ROAD, HAMPTON**

DRAWING
**PROPOSED SOUTH & WEST
ELEVATIONS**

DATE
NOV 24

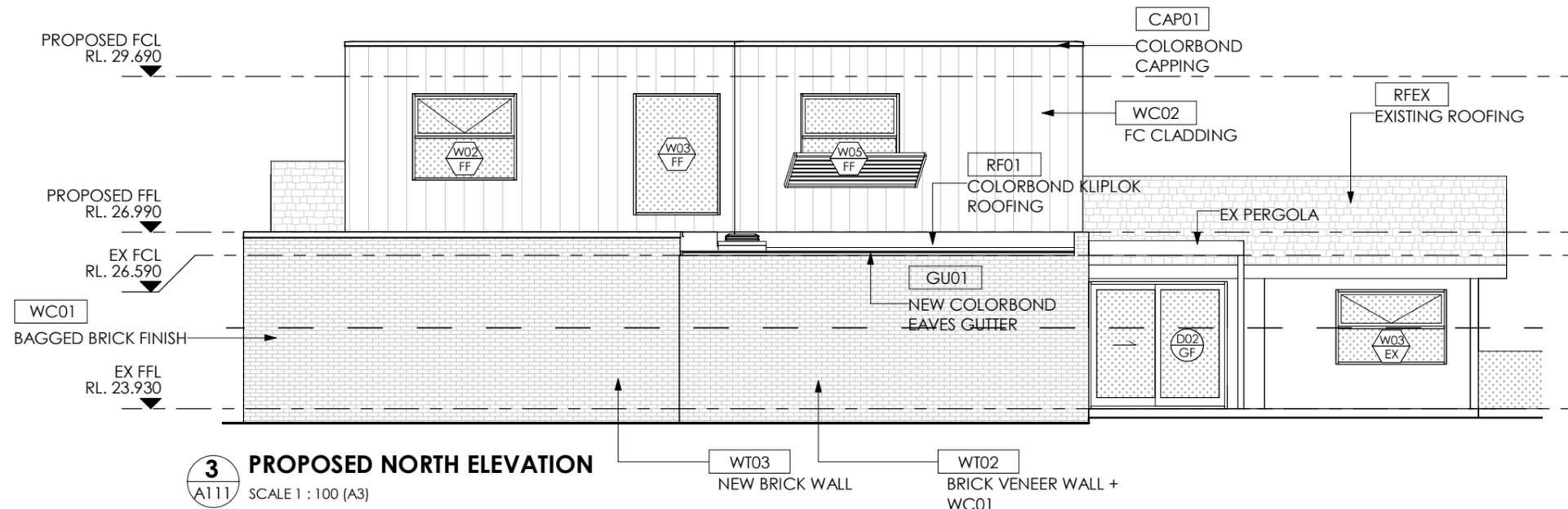
PROJECT PREPARED BY
**Bearwood
BUILDING**

DRAWING No.
A151

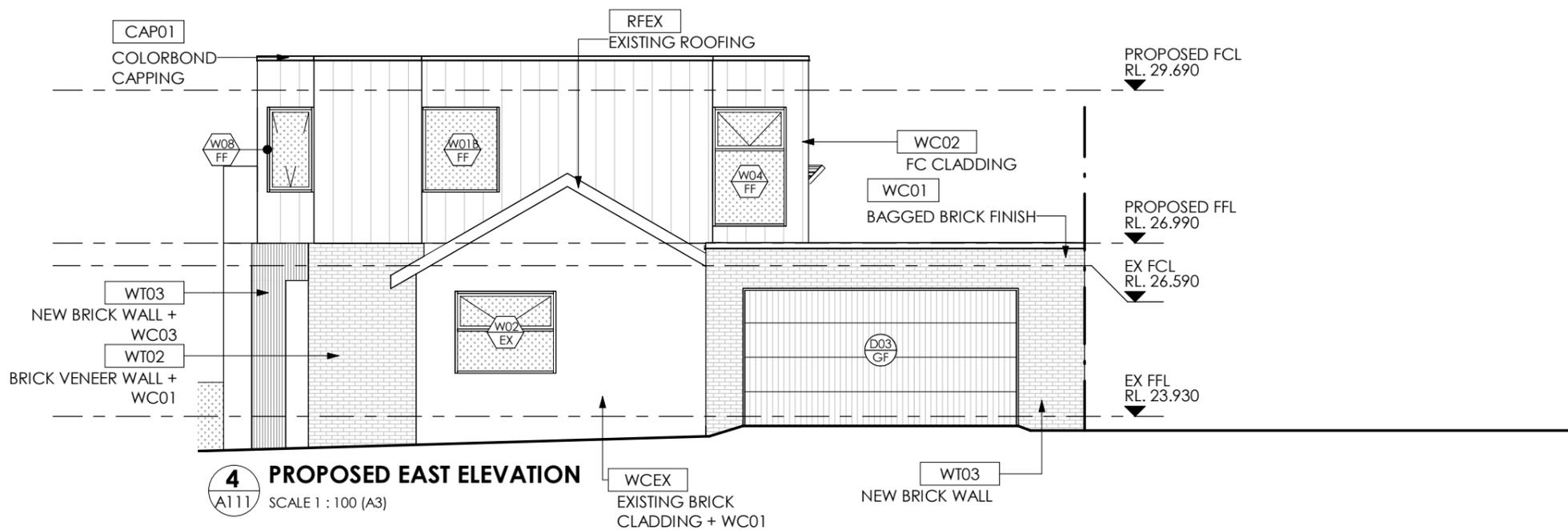
MBS
Metro Building Surveying
APPROVED BUILDING PERMIT
Permit No 1775635451113
Permit Date 10/12/2024
SCALE @ A3 ISSUE SCALE

1:100 1





3 PROPOSED NORTH ELEVATION
A111 SCALE 1 : 100 (A3)



4 PROPOSED EAST ELEVATION
A111 SCALE 1 : 100 (A3)

PERMIT ISSUE

ISSUE	AMENDMENT	DATE
1	TENDER ISSUE	16.10.24

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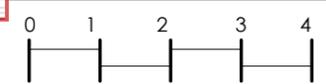
FIGURES & DIMENSIONS TAKE PRECEDENCE OVER SCALE DIMENSIONS.

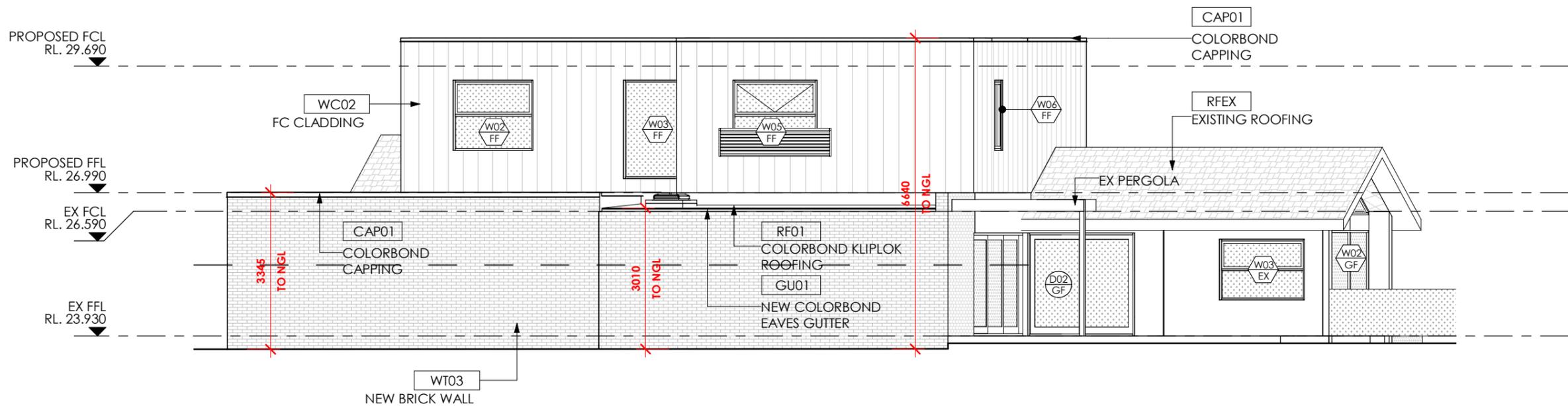
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PROJECT	DRAWING	DATE	PROJECT	PREPARED BY	DRAWING No.	SCALE	ISSUE	SCALE
ALTERATIONS & ADDITIONS 3 AUSTIN ROAD, HAMPTON	PROPOSED EAST & NORTH ELEVATION	NOV 24	-	Bearwood BUILDING	A152	1:100	1	1

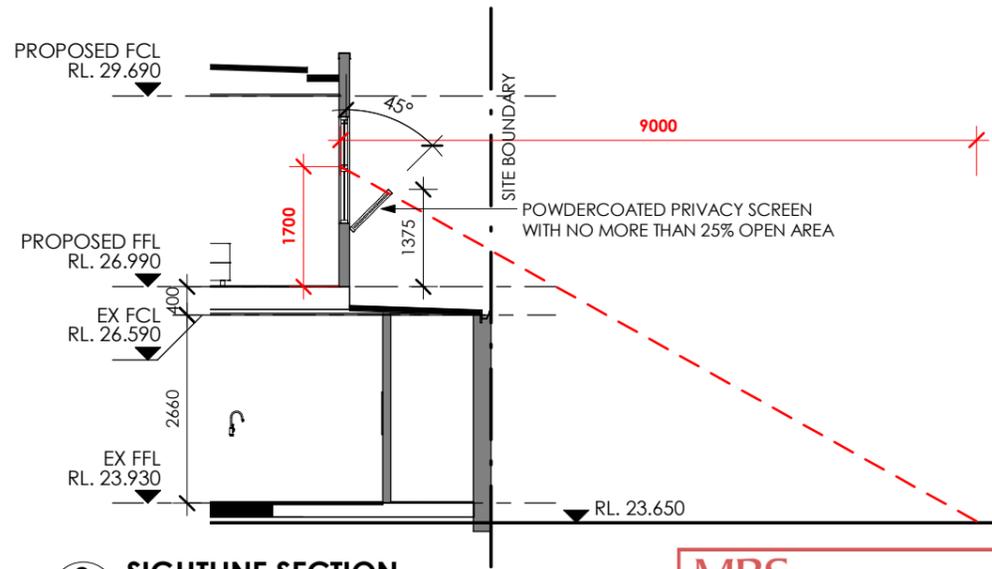
MBS
Metro Building Surveying

APPROVED BUILDING PERMIT
Permit No 1775635451113
Permit Date 10/12/2024
SCALE @ A3





1 PROPOSED NORTH ELEVATION - BOUNDARY ALIGNED
 A111 SCALE 1 : 100 (A3)



2 SIGHTLINE SECTION
 A112 SCALE 1 : 100 (A3)

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APPROVED BUILDING PERMIT
 Permit No 1775635451113
 Permit Date 10/12/2024
 SCALE @ A3 ISSUE SCALE

PERMIT ISSUE

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ISSUE	AMENDMENT	DATE
1	TENDER ISSUE	16.10.24

PROJECT
**ALTERATIONS & ADDITIONS
 3 AUSTIN ROAD, HAMPTON**

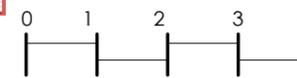
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**PROPOSED NORTH
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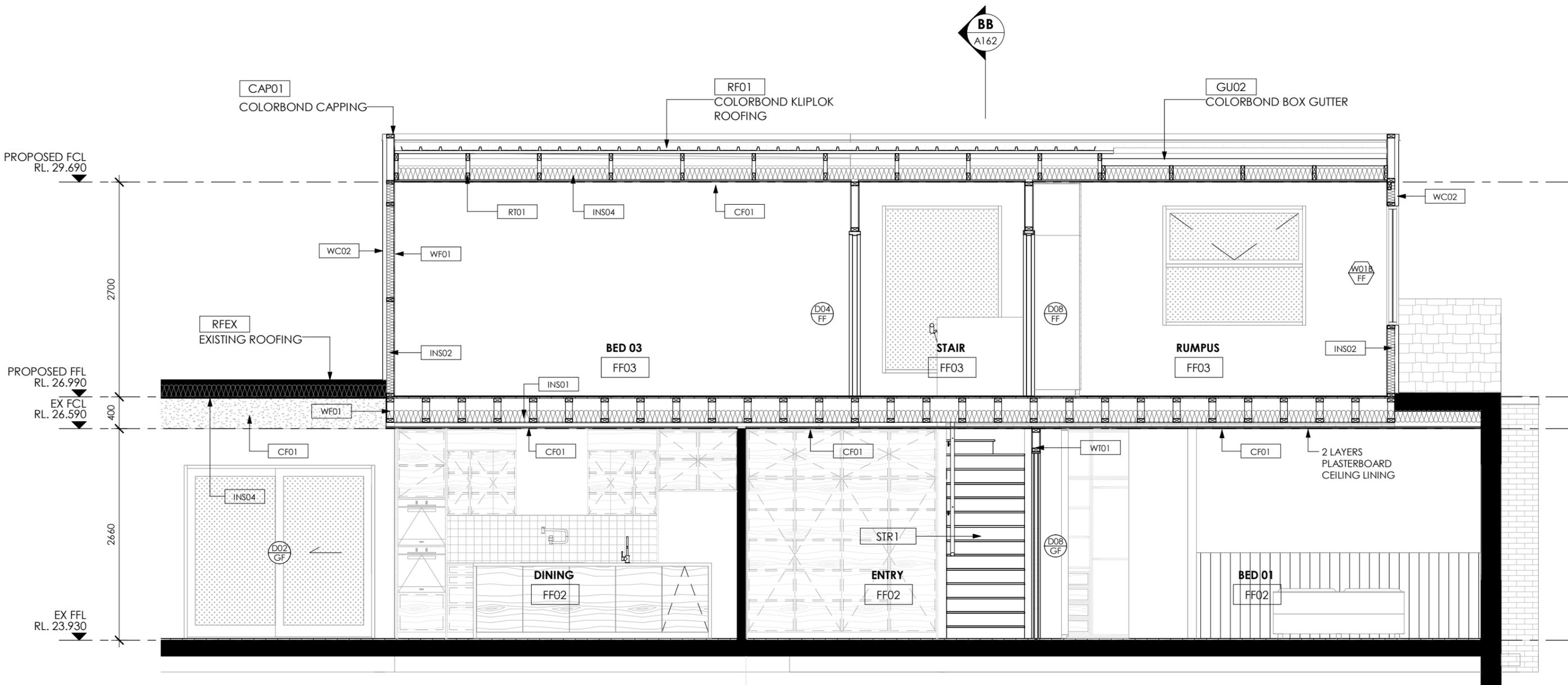
DATE
NOV 24

PROJECT PREPARED BY
**Bearwood
 BUILDING**

DRAWING No.
A153

1:100 1





AA SECTION AA
A111 SCALE 1 : 50 (A3)

PERMIT ISSUE

ISSUE	AMENDMENT	DATE
1	TENDER ISSUE	16.10.24

GENERAL NOTES:

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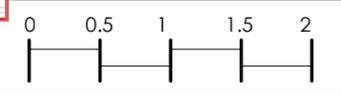
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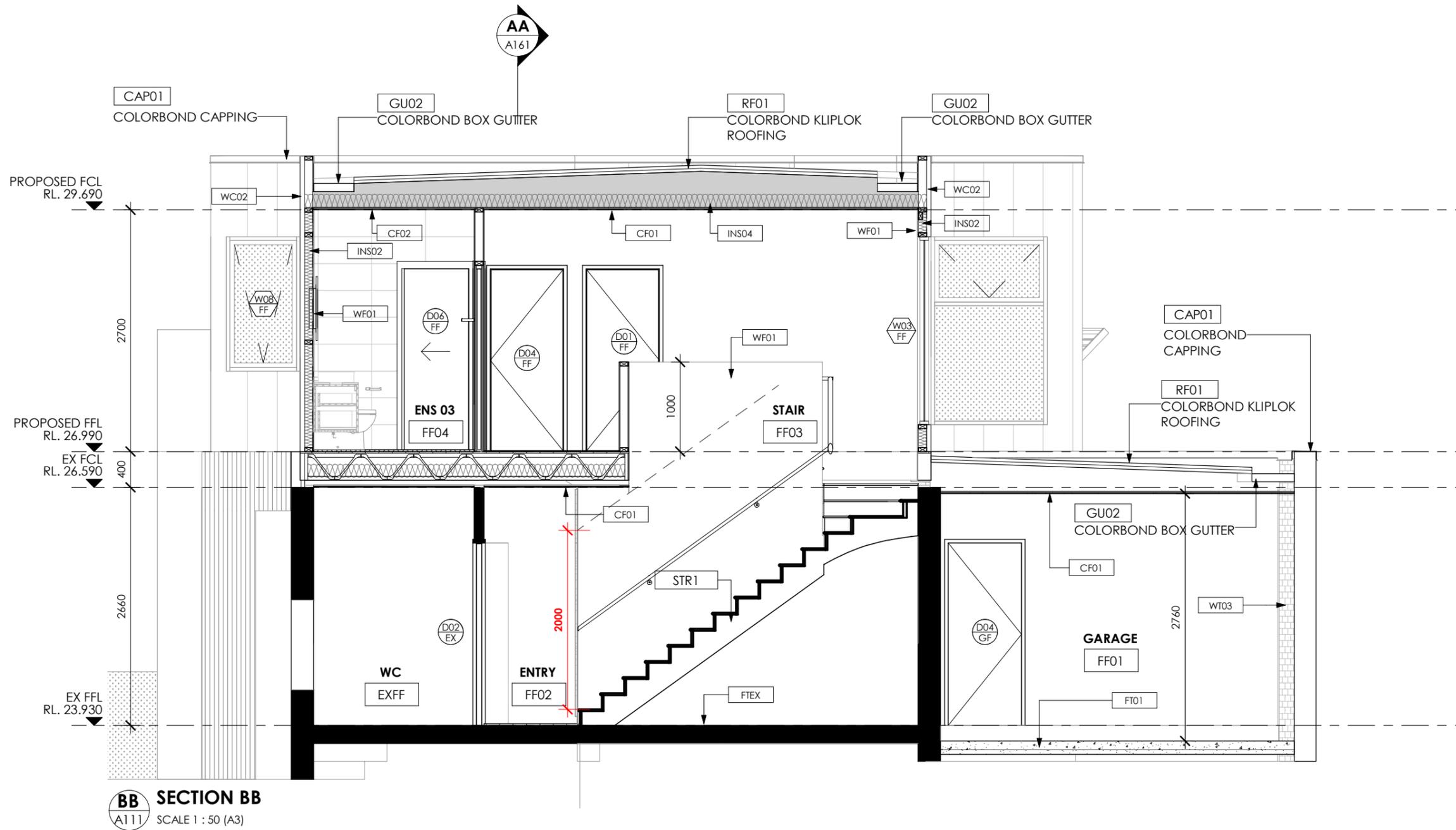
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PROJECT	DRAWING	DATE	PROJECT	PREPARED BY	DRAWING No.	SCALE	ISSUE	SCALE
ALTERATIONS & ADDITIONS 3 AUSTIN ROAD, HAMPTON	OVERALL SECTIONS - AA	NOV 24	-	<i>Bearwood</i> BUILDING	A161	1:50	1	

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APPROVED BUILDING PERMIT
Permit No 1775635451113
Permit Date 10/12/2024
SCALE @ A3





BB SECTION BB
A111 SCALE 1 : 50 (A3)

PERMIT ISSUE

ISSUE	AMENDMENT	DATE
1	TENDER ISSUE	16.10.24

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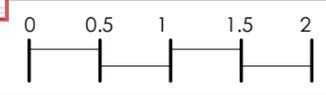
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PROJECT	DRAWING	DATE	PROJECT	PREPARED BY	DRAWING No.	SCALE @ A3	ISSUE	SCALE
ALTERATIONS & ADDITIONS 3 AUSTIN ROAD, HAMPTON	OVERALL SECTIONS - BB	NOV 24	-	<i>Bearwood</i> BUILDING	A162	1:50	1	

MBS
Metro Building Surveying
APPROVED BUILDING PERMIT
Permit No 1775635451113
Permit Date 10/12/2024
SCALE @ A3



ELECTRICAL KEY

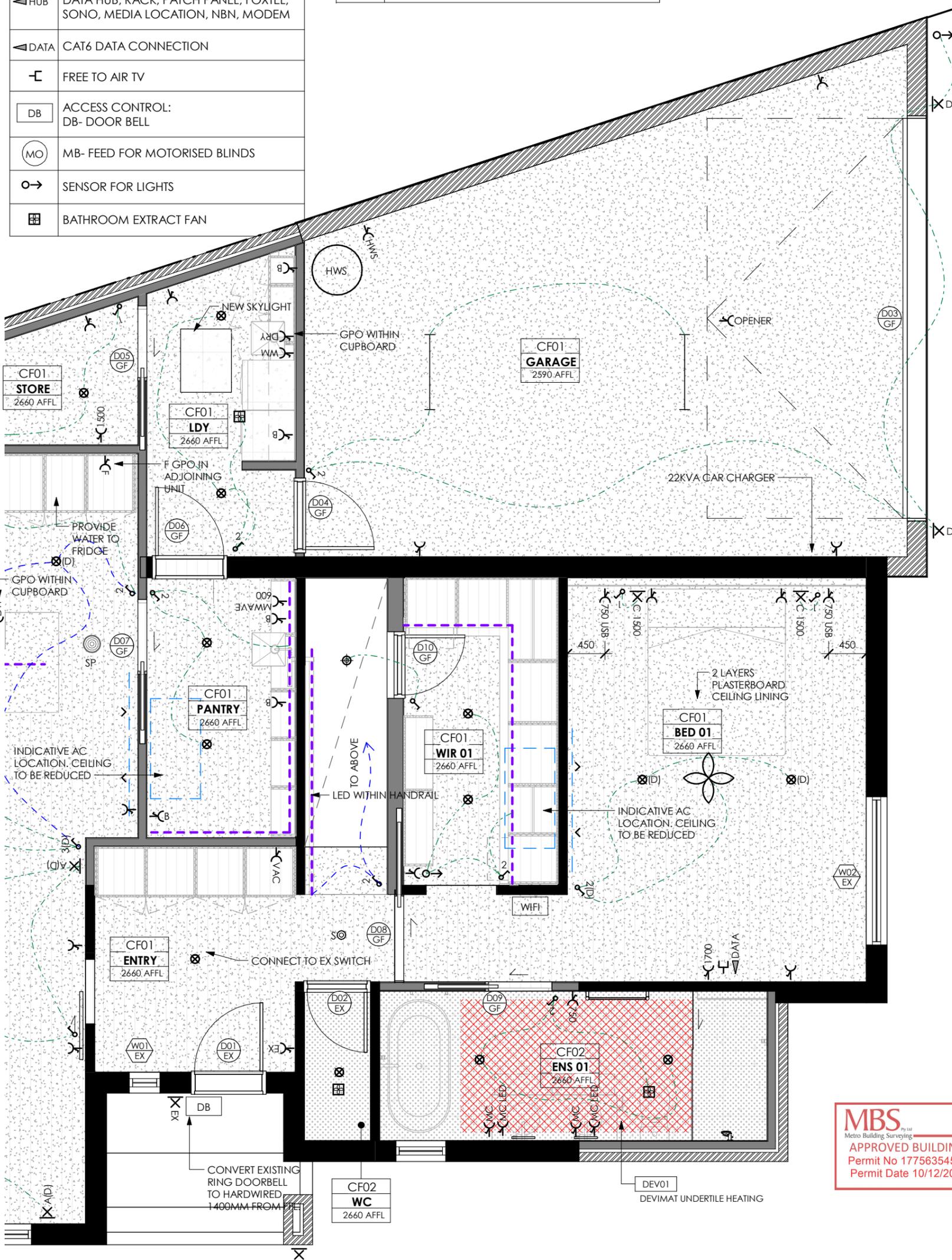
⊙	INTERCONNECTED SMOKE DETECTOR
X	LIGHT SWITCH. X= NUMBER CIRCUITS
---	1-WAY LIGHTING CIRCUIT
---	2-WAY LIGHTING CIRCUIT
⌋(X)	POWER OUTLET - APPLIANCE SPECIFIC
⌋X	DOUBLE POWER OUTLET 300MM ABOVE FFL UNLESS OTHERWISE NOTED. B- 150MM ABOVE BENCH UB- UNDER BENCH BY 150MM MC- WITHIN MIRROR CABINET 1200- DESIGNATED HEIGHT ABOVE FFL CB- WITHIN CUP'D DR-WITHIN DRAWER
⌋IP	POWER OUTLET - IP RATED FOR EXTERNAL USE
MSB	MAIN SWITCHBOARD
HUB	DATA HUB, RACK, PATCH PANEL, FOXTEL, SONO, MEDIA LOCATION, NBN, MODEM
DATA	CAT6 DATA CONNECTION
TV	FREE TO AIR TV
DB	ACCESS CONTROL: DB- DOOR BELL
MO	MB- FEED FOR MOTORIZED BLINDS
⊙	SENSOR FOR LIGHTS
⊞	BATHROOM EXTRACT FAN

LIGHTING TYPE SCHEDULE

⊗	LT01	RECESSED LED DOWNLIGHT. (D) DIMMABLE 3000K UNO
⊗A	LT01 A	SURFACE MOUNTED DOWNLIGHTS. (D) DIMMABLE
---	LT02	CONTINUOUS LED STRIP LIGHT IN PROFILE 3000K UNO - REFER JOINERY DRAWINGS
⌋A	LT03	FEATURE WALL LIGHTS A-D
⊗A	LT04	FEATURE PENDANT LIGHTS A-D
---	LT05	LED BATTEN LIGHT

MECHANICAL SCHEDULE

⌋	FACE MOUNTED AIR GRILLE - RETURN
⌋	FACE MOUNTED AIR GRILLE - SUPPLY
⊞	INDICATIVE FAN COIL UNIT- REFER MECH DESIGN



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PERMIT ISSUE

ISSUE	AMENDMENT	DATE	CHK'D
1	TENDER ISSUE	16.1	0-24

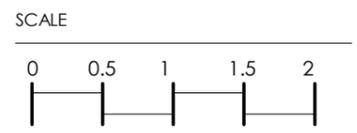
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PROJECT
**ALTERATIONS & ADDITIONS
3 AUSTIN ROAD, HAMPTON**

DRAWING
**REFLECTED CEILING PLAN - A,
SERVICES PLAN**

MBS
Metro Building Surveying
APPROVED BUILDING PERMIT
Permit No 1775635451113
Permit Date 10/12/2024:50

DATE	PROJECT No.
NOV 24	-
DRAWN	ISSUE
LC	1
DRAWING No.	
A221	

ELECTRICAL KEY

⊙	INTERCONNECTED SMOKE DETECTOR
X	LIGHT SWITCH. X= NUMBER CIRCUITS
---	1-WAY LIGHTING CIRCUIT
---	2-WAY LIGHTING CIRCUIT
⌋(X)	POWER OUTLET - APPLIANCE SPECIFIC
⌋X	DOUBLE POWER OUTLET 300MM ABOVE FFL UNLESS OTHERWISE NOTED. B- 150MM ABOVE BENCH UB- UNDER BENCH BY 150MM MC- WITHIN MIRROR CABINET 1200- DESIGNATED HEIGHT ABOVE FFL CB- WITHIN CUP'D DR-WITHIN DRAWER
⌋IP	POWER OUTLET - IP RATED FOR EXTERNAL USE
MSB	MAIN SWITCHBOARD
HUB	DATA HUB, RACK, PATCH PANEL, FOXTEL, SONO, MEDIA LOCATION, NBN, MODEM
DATA	CAT6 DATA CONNECTION
TV	FREE TO AIR TV
DB	ACCESS CONTROL: DB- DOOR BELL
MO	MB- FEED FOR MOTORIZED BLINDS
○→	SENSOR FOR LIGHTS
⊞	BATHROOM EXTRACT FAN

LIGHTING TYPE SCHEDULE

⊗	LT01	RECESSED LED DOWNLIGHT. (D) DIMMABLE 3000K UNO
⊗A	LT01 A	SURFACE MOUNTED DOWNLIGHTS. (D) DIMMABLE
---	LT02	CONTINUOUS LED STRIP LIGHT IN PROFILE 3000K UNO - REFER JOINERY DRAWINGS
⊗A	LT03	FEATURE WALL LIGHTS A-D
⊗A	LT04	FEATURE PENDANT LIGHTS A-D
---	LT05	LED BATTEN LIGHT
⊗	LT06	LED BATTEN HOLDER LIGHT

MECHANICAL SCHEDULE

→	FACE MOUNTED AIR GRILLE - RETURN
^	FACE MOUNTED AIR GRILLE - SUPPLY
[]	INDICATIVE FAN COIL UNIT- REFER MECH DESIGN

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**PERMIT
ISSUE**

ISSUE	AMENDMENT	DATE
1	TENDER ISSUE	16.10.24

PROJECT
**ALTERATIONS & ADDITIONS
3 AUSTIN ROAD, HAMPTON**

DRAWING
**REFLECTED CEILING PLAN -
B, SERVICES PLAN**

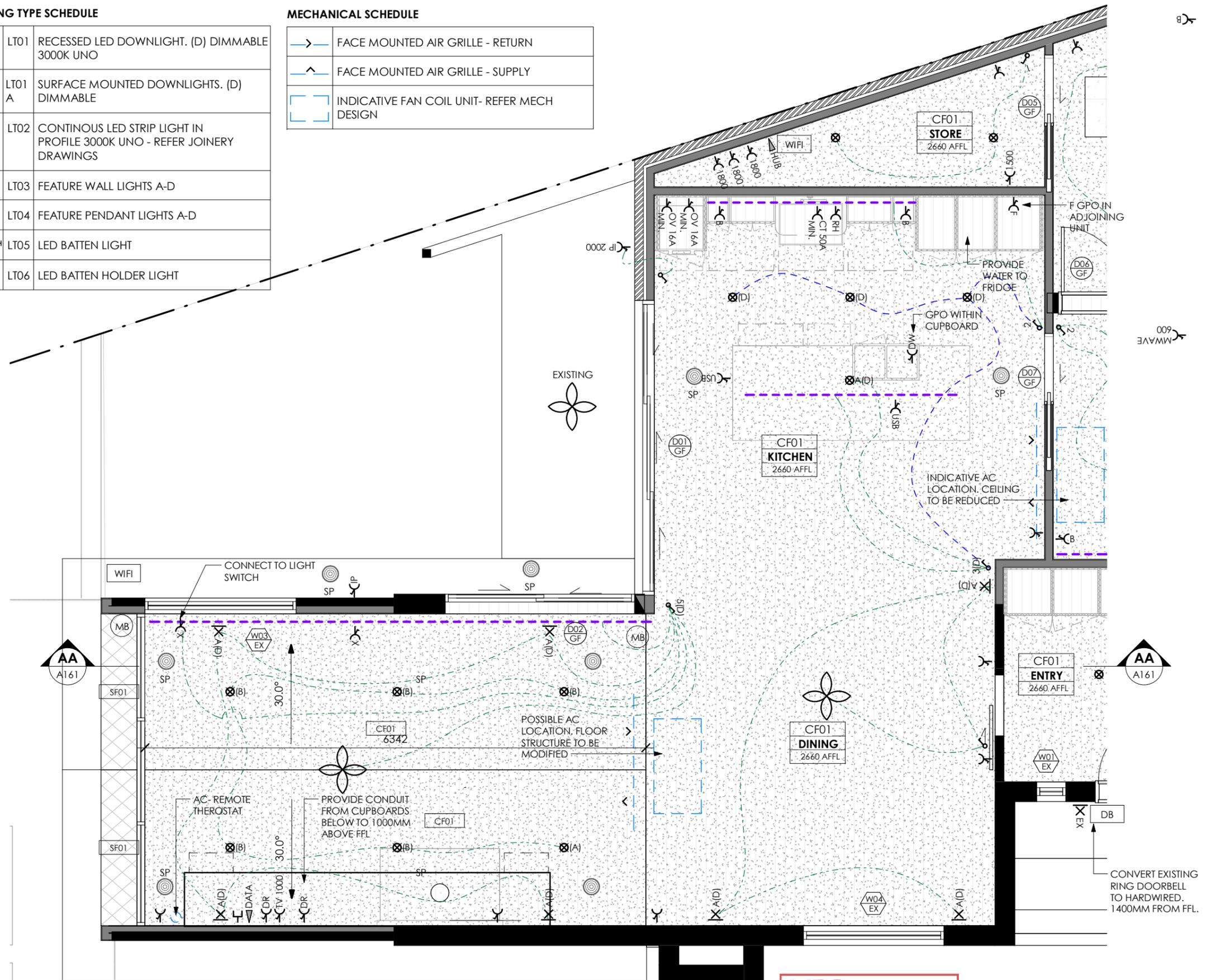
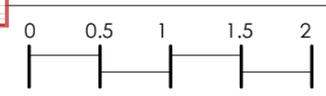
DATE
NOV 24

PROJECT PREPARED BY
**Bearwood
BUILDING**

DRAWING No.
A222

SCALE
1:50

MBS
Metro Building Surveying
APPROVED BUILDING PERMIT
Permit No 1775635451113
Permit Date 10/12/2024
SCALE @ A3

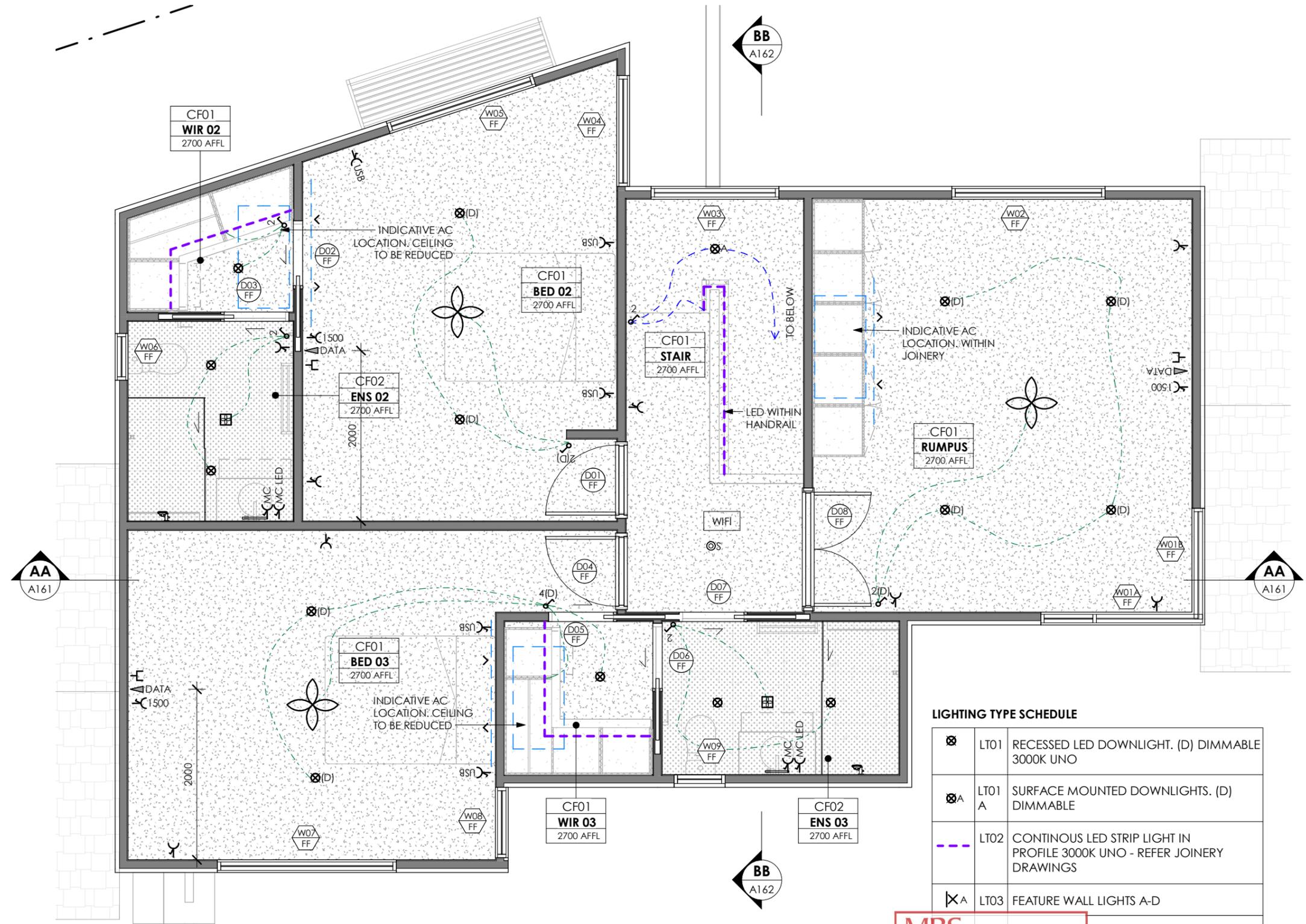


ELECTRICAL KEY

⊙	INTERCONNECTED SMOKE DETECTOR
X ⌚	LIGHT SWITCH. X= NUMBER CIRCUITS
---	1-WAY LIGHTING CIRCUIT
- - -	2-WAY LIGHTING CIRCUIT
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DATA	CAT6 DATA CONNECTION
FTA	FREE TO AIR TV
DB	ACCESS CONTROL: DB- DOOR BELL
MO	MB- FEED FOR MOTORISED BLINDS
○→	SENSOR FOR LIGHTS
⊠	BATHROOM EXTRACT FAN

MECHANICAL SCHEDULE

→	FACE MOUNTED AIR GRILLE - RETURN
↖	FACE MOUNTED AIR GRILLE - SUPPLY
⊠	INDICATIVE FAN COIL UNIT- REFER MECH DESIGN



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**PERMIT
ISSUE**

ISSUE	AMENDMENT	DATE
1	TENDER ISSUE	16.10.24

LIGHTING TYPE SCHEDULE

⊙(D)	LT01	RECESSED LED DOWNLIGHT. (D) DIMMABLE 3000K UNO
⊙A	LT01 A	SURFACE MOUNTED DOWNLIGHTS. (D) DIMMABLE
- - -	LT02	CONTINUOUS LED STRIP LIGHT IN PROFILE 3000K UNO - REFER JOINERY DRAWINGS
⊙A	LT03	FEATURE WALL LIGHTS A-D
⊙A	LT04	FEATURE PENDANT LIGHTS A-D

1 PROPOSED FFL

SCALE 1 : 50 (A3)
DRAWING

PROJECT
**ALTERATIONS & ADDITIONS
3 AUSTIN ROAD, HAMPTON**

**REFLECTED CEILING PLAN -
C, SERVICES PLAN**

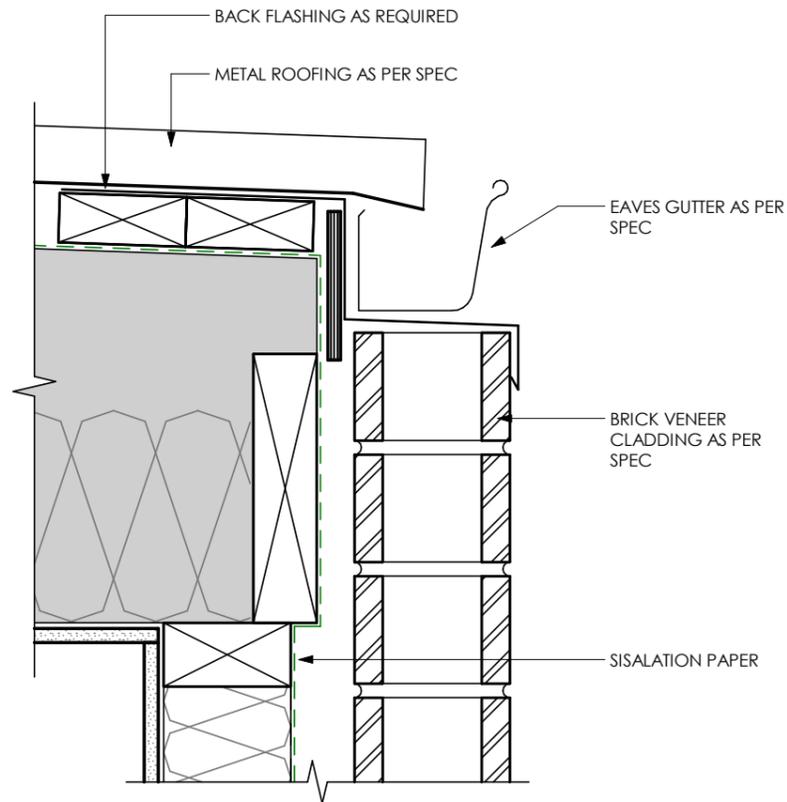
DATE
NOV 24

PROJECT PREPARED BY
**Bearwood
BUILDING**

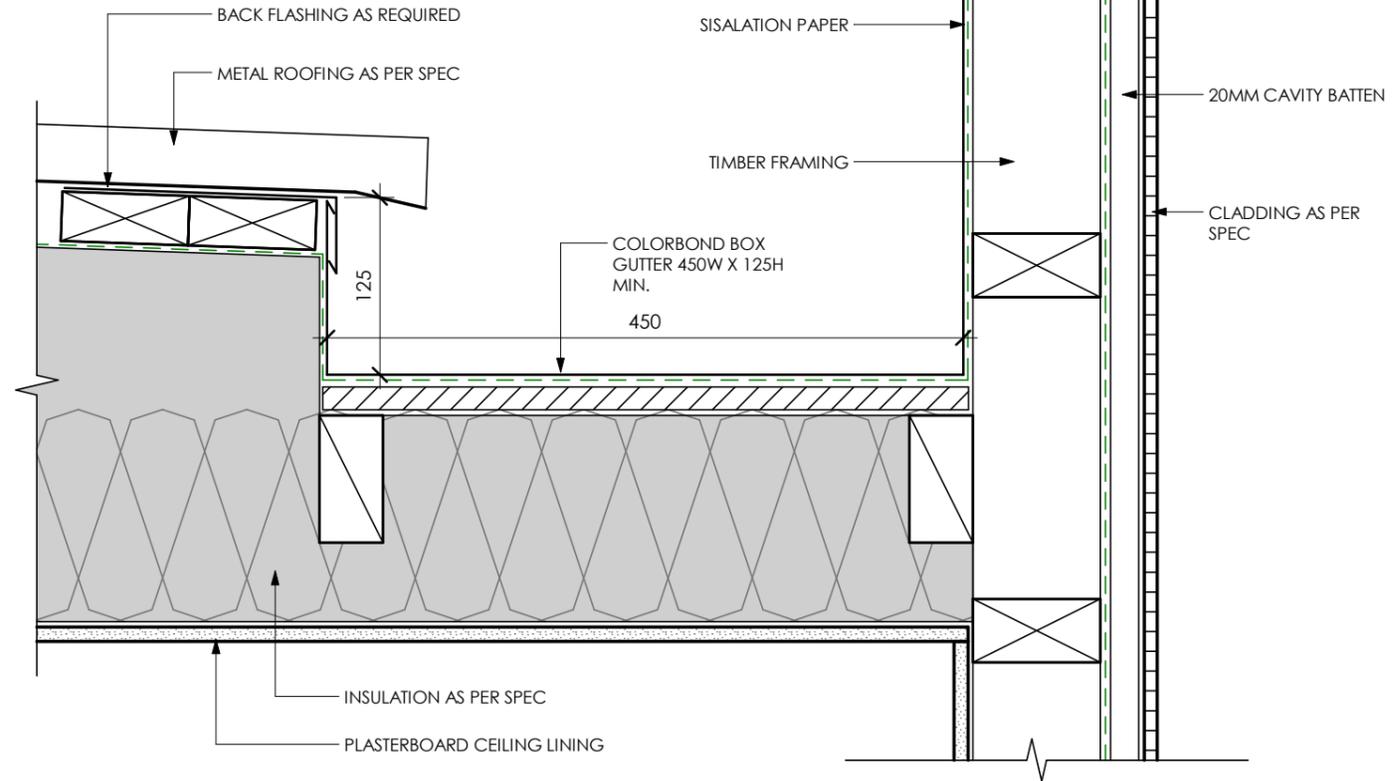
DRAWING No.
A223

SCALE @ A3
1:50





01 ROOF GUTTER DETAIL
SCALE 1 : 5 (A3)



02 TYPICAL BOX GUTTER DETAIL
SCALE 1 : 5 (A3)

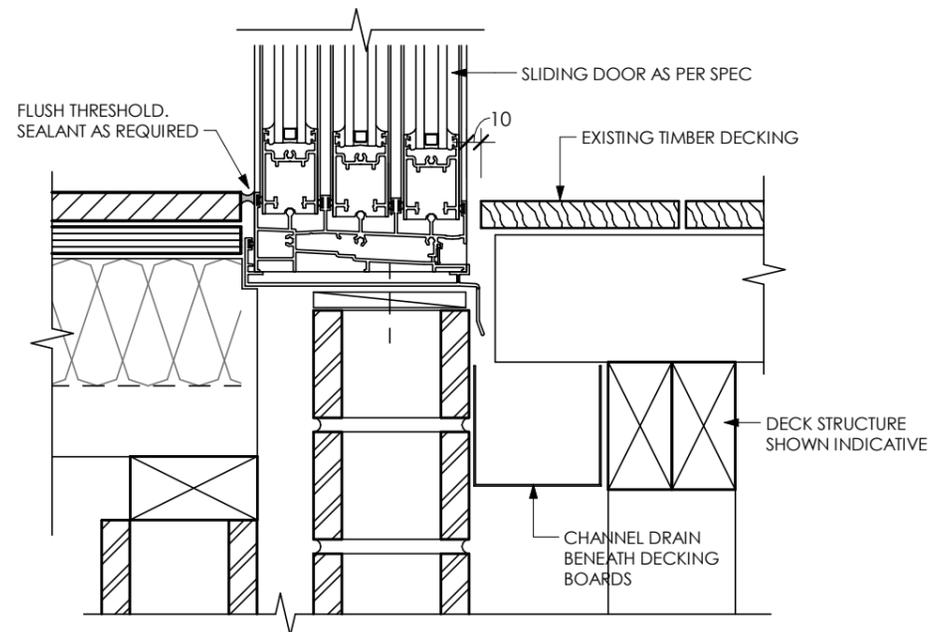
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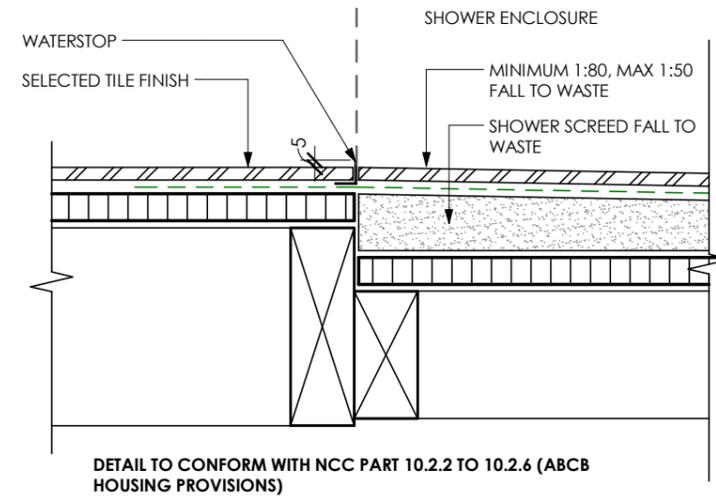
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03 SLIDING DOOR SILL DETAIL
SCALE 1 : 5 (A3)



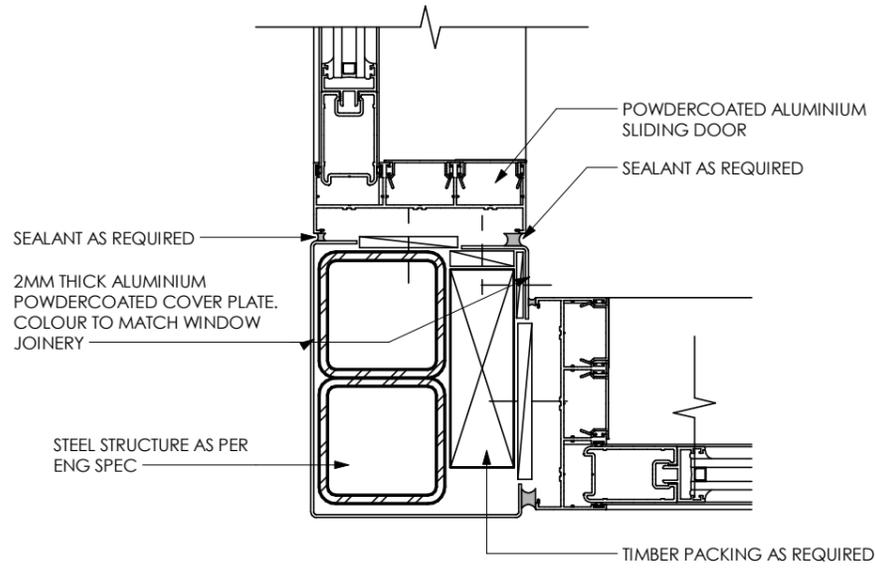
04 SHOWER THRESHOLD DETAIL
SCALE 1 : 5 (A3)

**PERMIT
ISSUE**

ISSUE	AMENDMENT	DATE
1	TENDER ISSUE	16.10.24

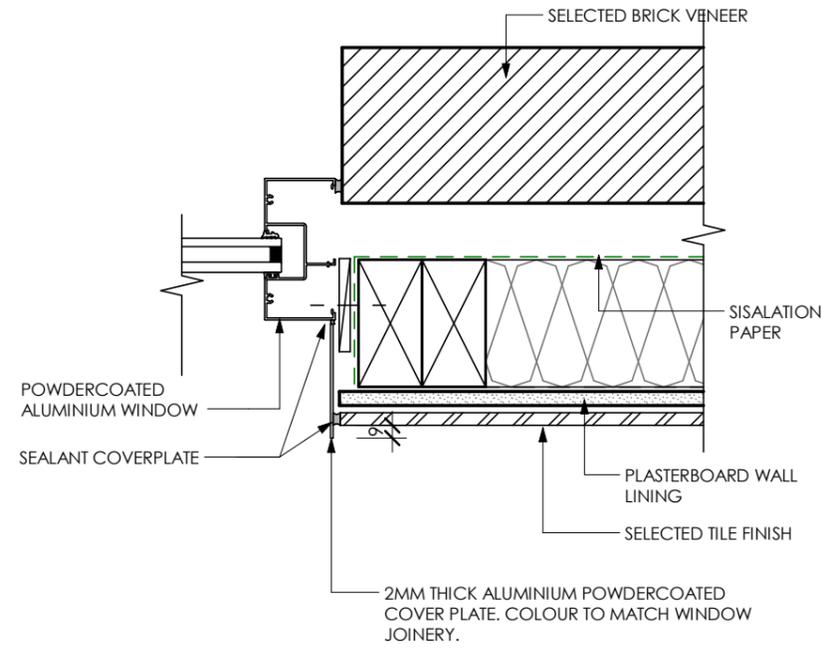
PROJECT	DRAWING	DATE	PROJECT	PREPARED BY	DRAWING No.	SCALE	ISSUE	SCALE
ALTERATIONS & ADDITIONS 3 AUSTIN ROAD, HAMPTON	SECTION DETAILS	NOV 24	-	Bearwood BUILDING	A601	1:5	1	0 0.1 0.2 0.3 0.4





01 COVERPLATE DETAIL

SCALE 1 : 5 (A3)



02 TILED WINDOW DETAIL

SCALE 1 : 5 (A3)

**PERMIT
ISSUE**

ISSUE	AMENDMENT	DATE
1	TENDER ISSUE	16.10.24

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PROJECT

**ALTERATIONS & ADDITIONS
3 AUSTIN ROAD, HAMPTON**

DRAWING

PLAN DETAILS

DATE

NOV 24

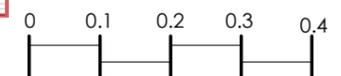
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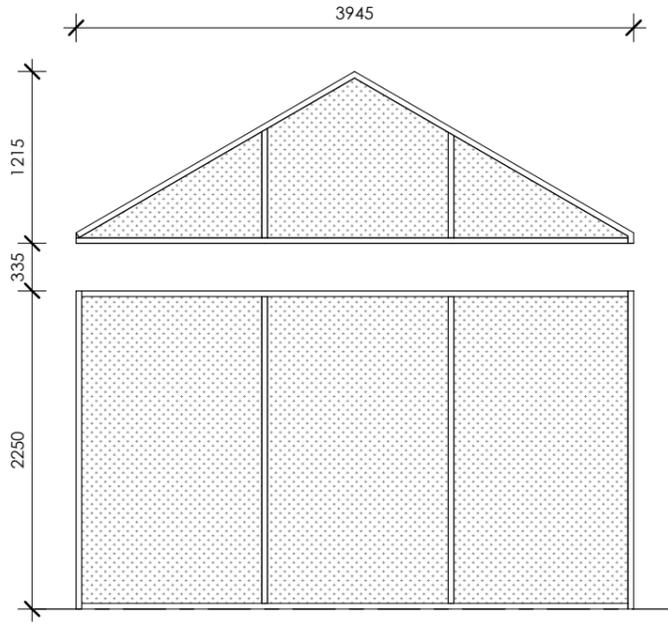
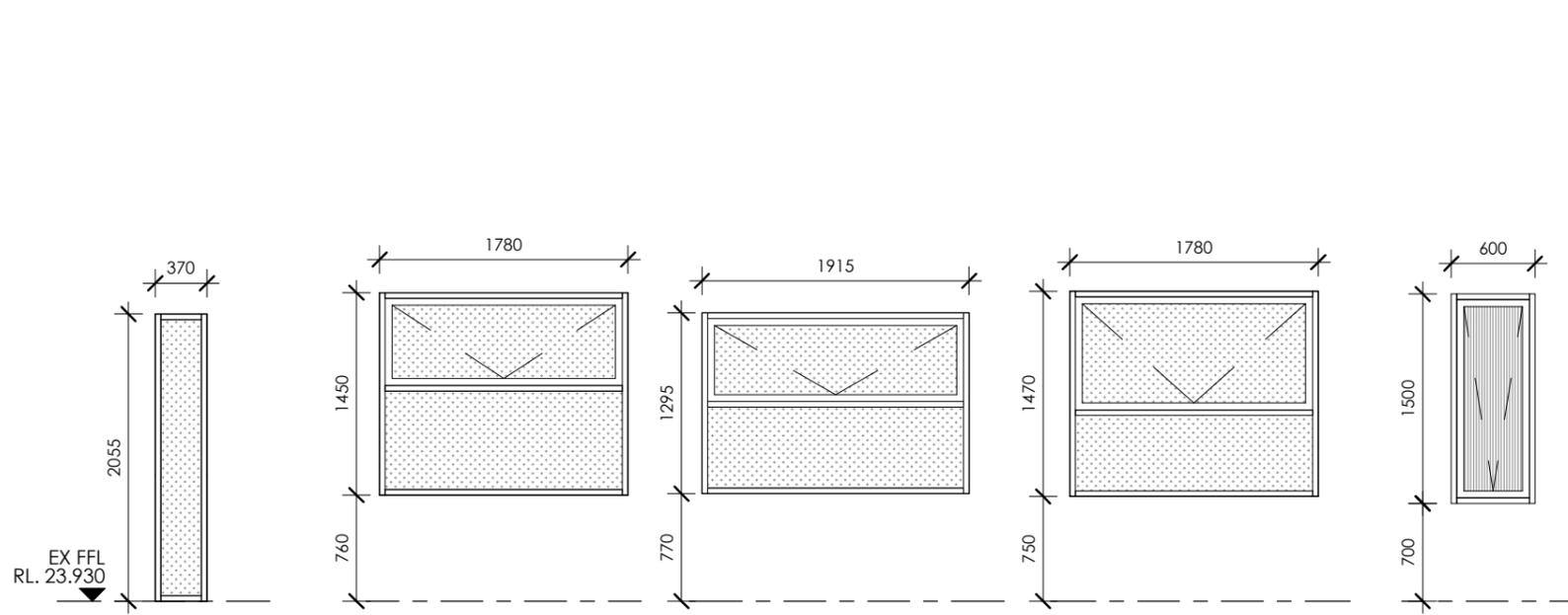
Bearwood
BUILDING

DRAWING No.

A611

1:5 1





W01-EX

SCALE 1 : 50 (A3)
 NEW DOUBLE GLAZED
 POWDERCOATED ALUMINIUM
 FIXED WINDOW IN NEW
 OPENING
 FINISH: TBC

W02-EX

SCALE 1 : 50 (A3)
 NEW DOUBLE GLAZED
 POWDERCOATED ALUMINIUM
 WINDOW WITH AWNING PANEL
 IN EXISTING OPENING
 FINISH: TBC

W03-EX

SCALE 1 : 50 (A3)
 NEW DOUBLE GLAZED
 POWDERCOATED ALUMINIUM
 WINDOW WITH AWNING PANEL
 IN EXISTING OPENING
 FINISH: TBC

W04-EX

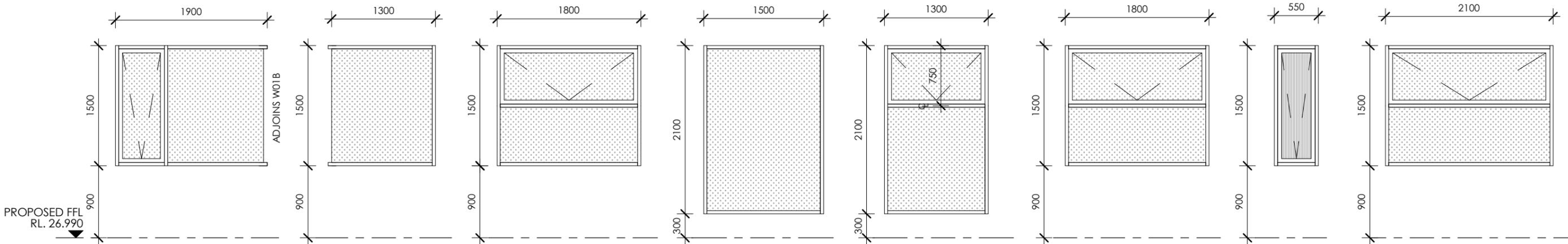
SCALE 1 : 50 (A3)
 NEW DOUBLE GLAZED
 POWDERCOATED ALUMINIUM
 WINDOW WITH AWNING PANEL
 IN EXISTING OPENING
 FINISH: TBC

W01-GF

SCALE 1 : 50 (A3)
 NEW DOUBLE GLAZED
 POWDERCOATED ALUMINIUM
 WINDOW WITH AWNING PANEL
 REEDED OBSCURE GLASS
 FINISH: TBC

W02-GF

SCALE 1 : 50 (A3)
 NEW **LOW-E** DOUBLE GLAZED
 POWDERCOATED ALUMINIUM
 FIXED WINDOW
 FINISH: TBC



W01A-FF

SCALE 1 : 50 (A3)
 NEW DOUBLE GLAZED
 POWDERCOATED ALUMINIUM
 WINDOW WITH AWNING PANEL
 FINISH: TBC

W01B-FF

SCALE 1 : 50 (A3)
 NEW DOUBLE GLAZED
 POWDERCOATED ALUMINIUM
 FIXED WINDOW
 FINISH: TBC

W02-FF

SCALE 1 : 50 (A3)
 NEW **LOW-E** DOUBLE GLAZED
 POWDERCOATED ALUMINIUM
 WINDOW WITH AWNING PANEL
 FINISH: TBC

W03-FF

SCALE 1 : 50 (A3)
 NEW **LOW-E** DOUBLE GLAZED
 POWDERCOATED ALUMINIUM
 WINDOW WITH AWNING PANEL
 FINISH: TBC

W04-FF

SCALE 1 : 50 (A3)
 NEW DOUBLE GLAZED
 POWDERCOATED ALUMINIUM
 WINDOW WITH AWNING PANEL
 FINISH: TBC

W05-FF

SCALE 1 : 50 (A3)
 NEW **LOW-E** DOUBLE GLAZED
 POWDERCOATED ALUMINIUM
 WINDOW WITH AWNING PANEL
 FINISH: TBC

W06-FF

SCALE 1 : 50 (A3)
 NEW **LOW-E** DOUBLE GLAZED
 POWDERCOATED ALUMINIUM
 WINDOW WITH AWNING PANEL.
 REEDED OBSCURE GLASS
 FINISH: TBC

W07-FF

SCALE 1 : 50 (A3)
 NEW DOUBLE GLAZED
 POWDERCOATED ALUMINIUM
 WINDOW WITH AWNING PANEL
 FINISH: TBC

PERMIT ISSUE

ISSUE	AMENDMENT	DATE
1	TENDER ISSUE	16.10.24

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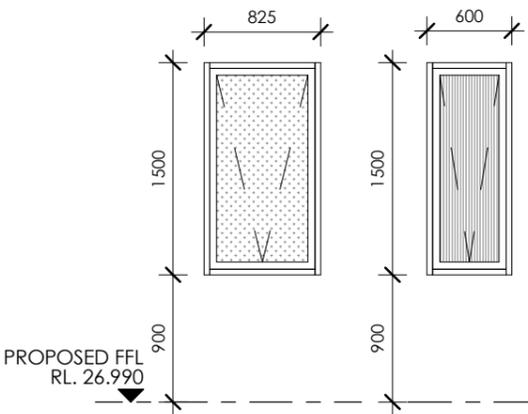
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PROJECT	DRAWING	DATE	PROJECT	PREPARED BY	DRAWING No.	SCALE	SCALE
ALTERATIONS & ADDITIONS 3 AUSTIN ROAD, HAMPTON	WINDOW SCHEDULE	NOV 24	-	<i>Bearwood</i> BUILDING	A701	1:50	1





W08-FF

SCALE 1 : 50 (A3)

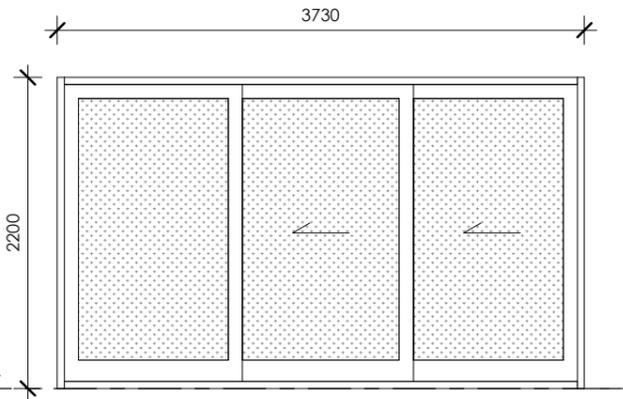
NEW DOUBLE GLAZED POWDERCOATED ALUMINIUM WINDOW WITH AWNING PANEL FINISH: TBC

W09-FF

SCALE 1 : 50 (A3)

NEW DOUBLE GLAZED POWDERCOATED ALUMINIUM WINDOW WITH AWNING PANEL WITH REEDED OBSCURE GLAZING FINISH: TBC

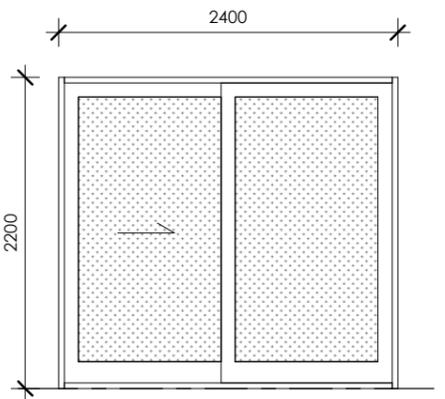
EX FFL RL. 23.930



D01-GF

SCALE 1 : 50 (A3)

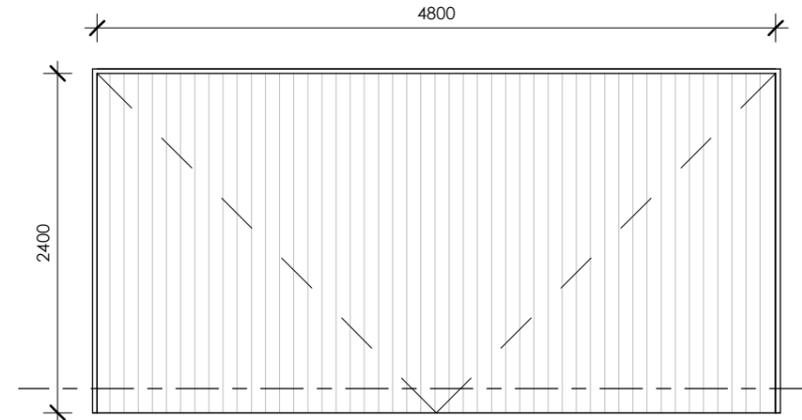
NEW DOUBLE GLAZED POWDERCOATED ALUMINIUM FRAMED SLIDING DOOR FINISH: TBC



D02-GF

SCALE 1 : 50 (A3)

NEW DOUBLE GLAZED POWDERCOATED ALUMINIUM FRAMED SLIDING DOOR FINISH: TBC



D03-GF

SCALE 1 : 50 (A3)

NEW GARAGE TILT DOOR WITH AUTO LOCK BOLT + ELECTRIC OPENER & 2 REMOTES FINISH: TBC

EX FFL RL. 23.930

REFER REFER

WINDOW SCHEDULE								
Door No	#	Room Name	Window Type	Width	Height	Frame Finish	Frame Colour	Remarks
W01	EX	ENTRY	TYPE01	370	2057	PC		ARCH02
W02	EX	BED 01	TYPE02	1780	1450	PC		ARCH02, FLAWIER SCREEN
W03	EX	LIVING	TYPE02	1915	1295	PC		ARCH02, FLAWIER SCREEN
W04	EX	DINING	TYPE02	1780	1470	PC		ARCH02, FLAWIER SCREEN
W01A	FF	RUMPUS	TYPE02	1900	1500	PC		ARCH02, FLAWIER SCREEN
W01B	FF	RUMPUS	TYPE01	1300	1500	PC		ARCH02
W02	FF	RUMPUS	TYPE02	1800	1500	PC		ARCH02, FLAWIER SCREEN
W03	FF	STAIR	TYPE01	1500	2100	PC		ARCH02
W04	FF	BED 02	TYPE02	1375	2100	PC		ARCH02, FLAWIER SCREEN
W05	FF	BED 02	TYPE02	1800	1500	PC		ARCH02, FLAWIER SCREEN
W06	FF	ENS 02	TYPE02	550	1500	PC		ARCH02, FLAWIER SCREEN
W07	FF	BED 03	TYPE02	2100	1500	PC		ARCH02, FLAWIER SCREEN
W08	FF	BED 03	TYPE02	900	1500	PC		ARCH02, FLAWIER SCREEN
W09	FF	ENS 03	TYPE02	600	1500	PC		ARCH02, FLAWIER SCREEN
W01	GF	ENS01	TYPE02	600	1500	PC		ARCH02, FLAWIER SCREEN
W02	GF	LIVING	TYPE01	4045	2660	PC		ARCH02

PERMIT ISSUE

ISSUE AMENDMENT DATE
1 TENDER ISSUE 16.10.24

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PROJECT
**ALTERATIONS & ADDITIONS
3 AUSTIN ROAD, HAMPTON**

DRAWING
WINDOW SCHEDULE

DATE
NOV 24

PROJECT PREPARED BY
Bearwood BUILDING

DRAWING No.
A702 SCALE
1:50



DOOR SCHEDULE

Door No	Room #	Room Name	DOOR LEAF		Door Type	DOOR LEAF		Frame Colour	REMARKS
			LEAF SIZE			Finish	Door Colour		
			Width	Height					
D01	EX	ENTRY	820	2040	TYPE EX	TIMBER	NATURAL WOOD	BLACK	UPGRADE RING TO MAINS POWER, NEW DOOR PANEL
D02	EX	WC	720	2040	TYPE EX	EX	EX	EX	
D03	EX	DINING	820	2040	TYPE EX	EX	EX	EX	REMOVE PELMET, NEW TRACKS
D01	FF	BED 02	820	2040	TYPE 04	PT	COLOUR A	COLOUR A	HANDLE01, HINGE01, LOCK01, DOORSTOP
D02	FF	WIR 02	720	2040	TYPE 05	PT	COLOUR A	COLOUR A	HANDLE02, TRACK01
D03	FF	ENS 02	720	2040	TYPE 05	PT	COLOUR A	COLOUR A	HANDLE02, TRACK01
D04	FF	BED 03	820	2040	TYPE 04	PT	COLOUR A	COLOUR A	HANDLE01, HINGE01, LOCK01, DOORSTOP
D05	FF	WIR 03	720	2040	TYPE 05	PT	COLOUR A	COLOUR A	HANDLE02, TRACK01
D06	FF	ENS 03	720	2040	TYPE 05	PT	COLOUR A	COLOUR A	HANDLE02, PRIVACY, TRACK01
D07	FF	ENS 03	720	2040	TYPE 05	PT	COLOUR A	COLOUR A	HANDLE02, PRIVACY, TRACK01
D08	FF	RUMPUS	1340	2040	TYPE 06	PT	COLOUR A	COLOUR A	HANDLE01, HINGE01, LOCK01, DOORSTOP
D01	GF	KITCHEN	3730	2200	TYPE 01	PC	BLACK	BLACK	HANDLE03, FLAWIER SCREEN
D02	GF	LIVING	2400	2200	TYPE 02	PC	BLACK	BLACK	HANDLE03, FLAWIER SCREEN
D03	GF	GARAGE	4800	2400	TYPE 03	TIMBER	NATURAL WOOD	COLOUR A	ELECTRIC OPENER + AUTO LOCK BOLT
D04	GF	GARAGE	820	2040	TYPE 04	PT	COLOUR A	COLOUR A	REUSED DOOR. HANDLE01, HINGE01, LOCK02, DOORSTOP
D05	GF	STORE	820	2040	TYPE 05	PT	COLOUR A	COLOUR A	HANDLE02, TRACK01
D06	GF	LDY	820	2040	TYPE 04	PT	COLOUR A	COLOUR A	HANDLE01, HINGE01, LOCK01, DOORSTOP
D07	GF	PANTRY	820	2040	TYPE 05	PT	COLOUR A	COLOUR A	HANDLE02, TRACK01
D08	GF	BED 01	1020	2350	TYPE 05	PT	COLOUR A	COLOUR A	HANDLE02, TRACK01 - CONCEALED TRACK, FULL RETURN, FLUSH STOPPED JAMBS
D09	GF	ENS 01	720	2040	TYPE 05	PT	COLOUR A	COLOUR A	HANDLE02, TRACK01
D10	GF	WIR 01	720	2040	TYPE 04	PT	COLOUR A	COLOUR A	HANDLE01, HINGE01, LOCK01, DOORSTOP

FINISHES CODES:

PC - POWDERCOAT FINISH
PT - PAINT FINISH
JF - JOINERY FINISH

REFER MATERIAL SPECIFICATIONS FOR PAINT TYPES, PAINT FINISH AND DOOR HARDWARE.

FACTORY POWDERCOAT FINISHES TO BE CONFIRMED WITH CLIENT PRIOR TO PROCEEDING.

GENERAL NOTES:

CONTRACTORS & SUB CONTRACTORS SHALL VERIFY ALL DIMENSIONS OF THIS DRAWING & SITE CONDITIONS PRIOR TO ANY WORK COMMENCING

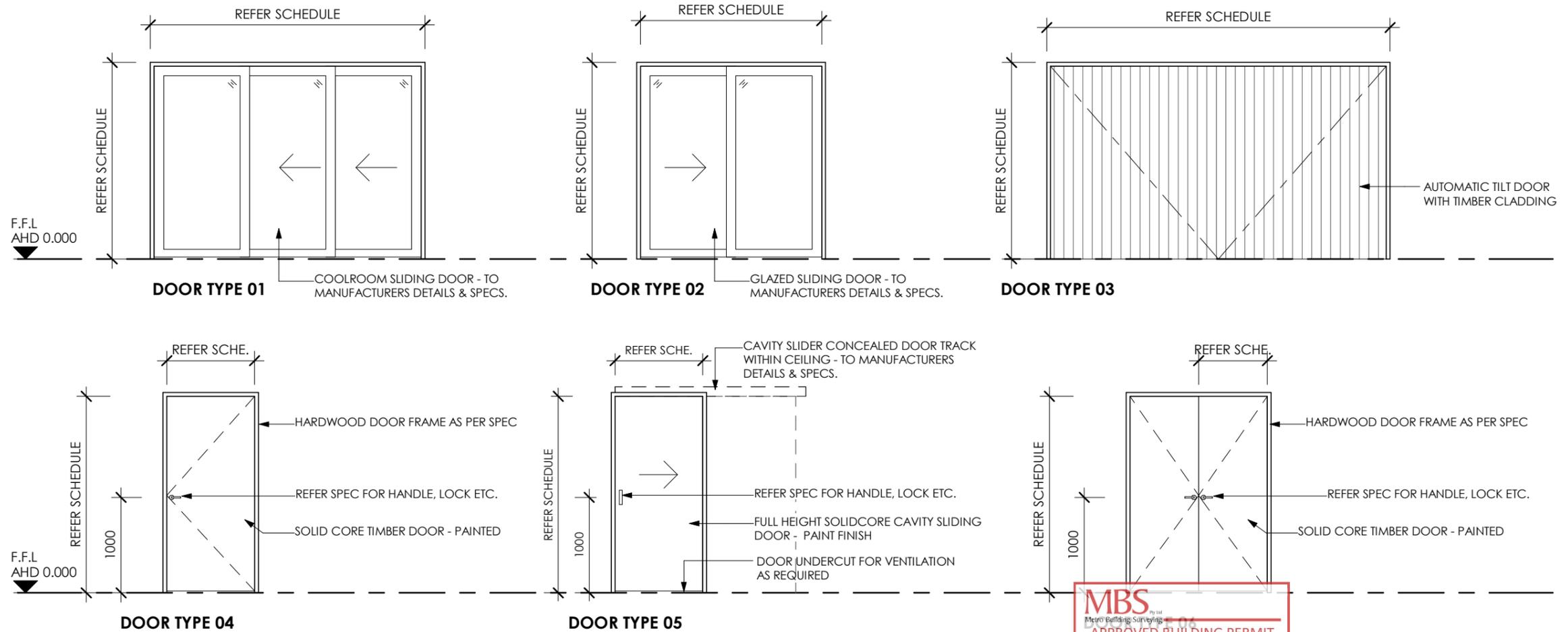
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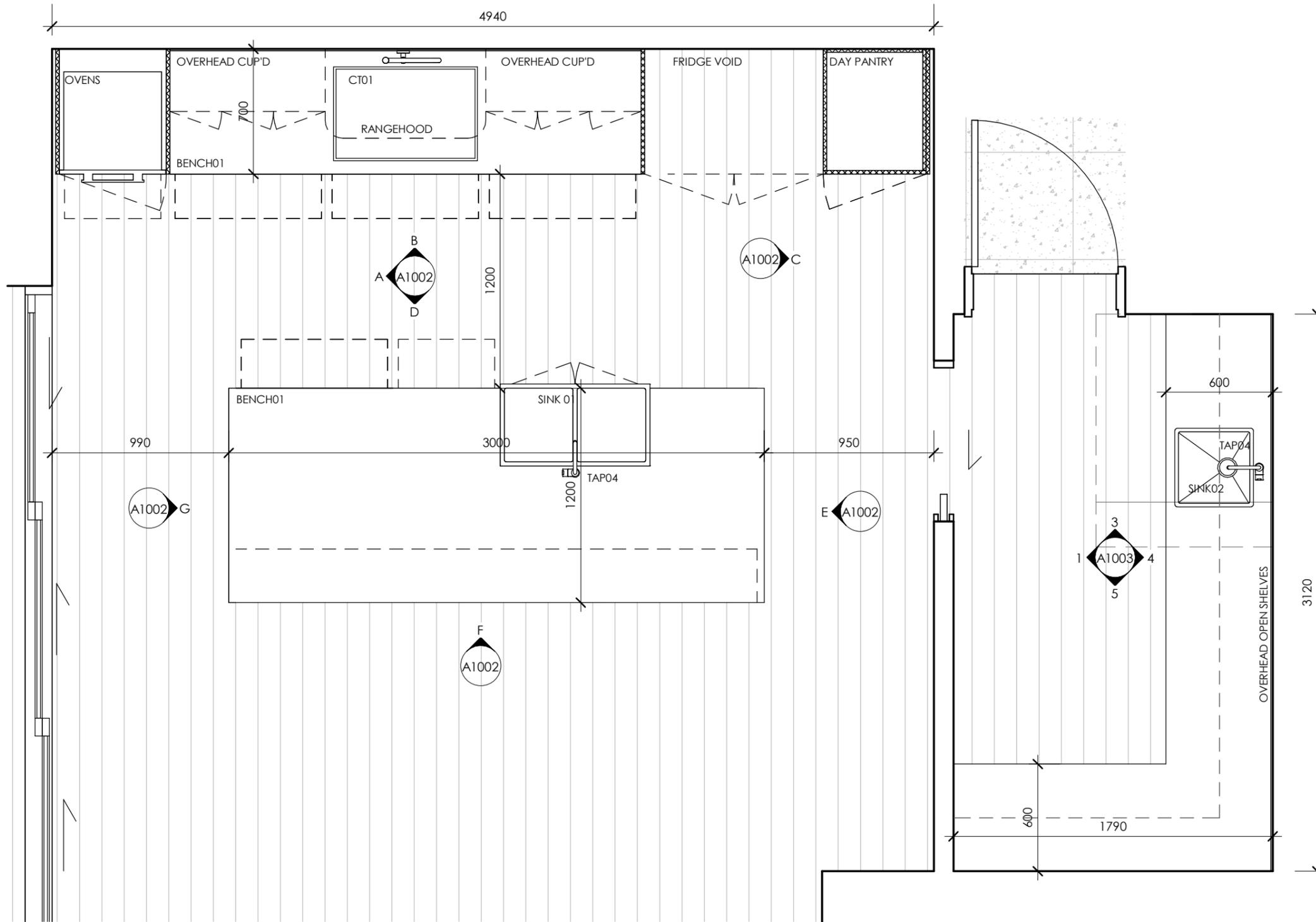
FIGURES & DIMENSIONS TAKE PRECEDENCE OVER SCALE DIMENSIONS.

THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTORS, SPECIFICATIONS & DRAWINGS.

PERMIT ISSUE

ISSUE	AMENDMENT	DATE
1	TENDER ISSUE	16.10.24





1 KITCHEN - PLAN
A103 SCALE 1 : 25 (A3)

PERMIT ISSUE

ISSUE	AMENDMENT	DATE
1	TENDER ISSUE	16.10.24

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PROJECT

**ALTERATIONS & ADDITIONS
3 AUSTIN ROAD, HAMPTON**

DRAWING

INTERIORS - KITCHEN

DATE

NOV 24

PROJECT PREPARED BY

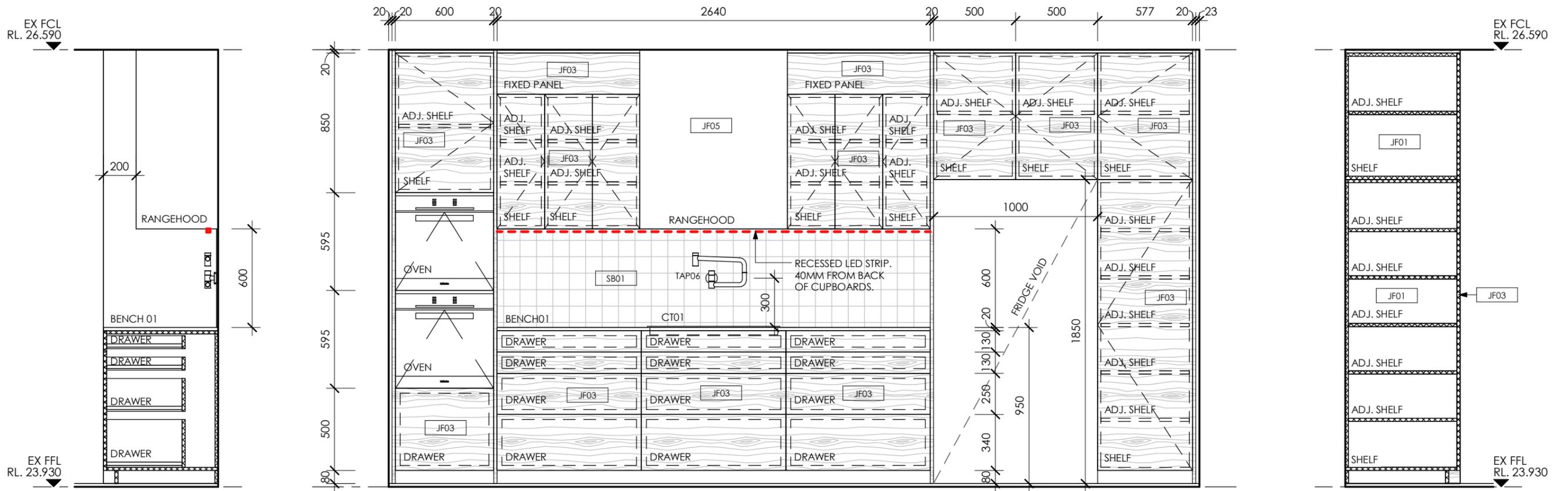
Bearwood
BUILDING

DRAWING No.

A1001

1

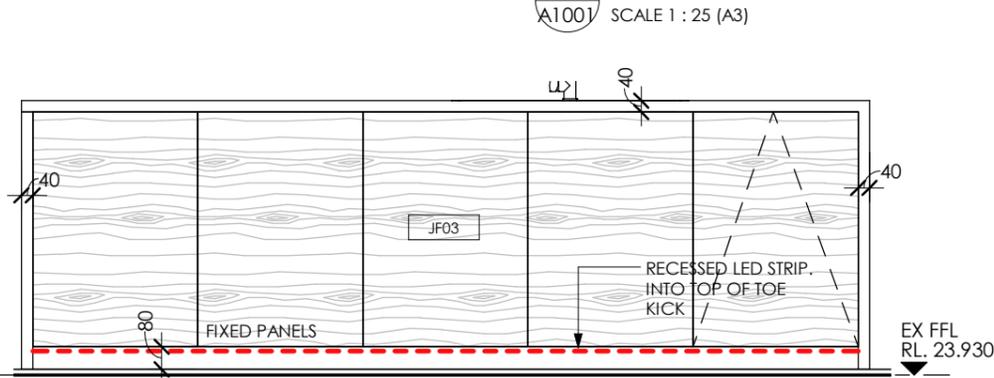
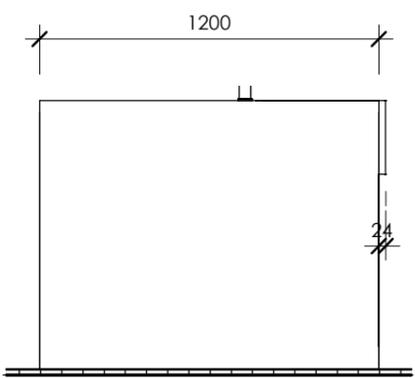
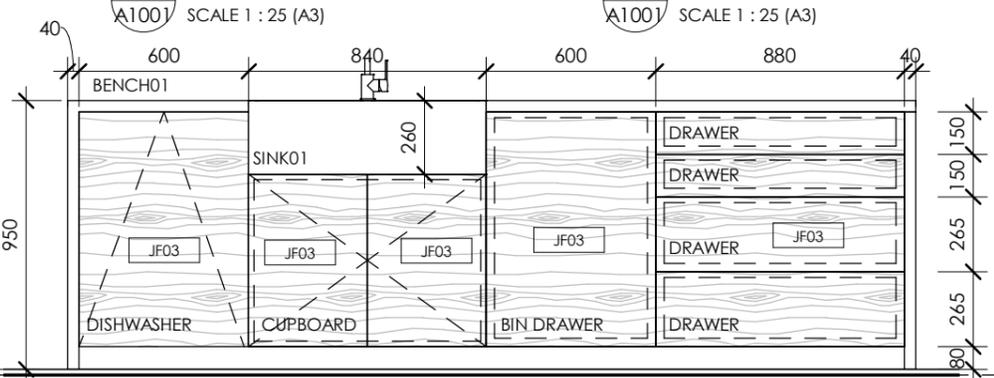




A KITCHEN - ELEVATION 1

B KITCHEN - ELEVATION 2

C KITCHEN - ELEVATION 3



D KITCHEN ISLAND - ELEVATION 1

E KITCHEN ISLAND - ELEVATION 2

F KITCHEN ISLAND - ELEVATION 3

A1001 SCALE 1 : 25 (A3)

A1001 SCALE 1 : 25 (A3)

A1001 SCALE 1 : 25 (A3)

FINISHES KEY

JF01	GENERIC WHITE CARCASS MELAMINE
JF02	NA
JF03	POLYTEC RAVINE 'NATURAL OAK' MELAMINE FINISH
JF04	POLYTEC ULTRAMATT 'JASMINE' MELAMINE FINISH
WF01	10MM STANDARD PLASTERBOARD WITH PAINT FINISH
WF02	10MM MOISTURE RESISTANT PLASTERBOARD WITH PAINT FINISH
WF03	WHITE 300X600 WALL TILES OVER TILE SUBSTRATE
WF04	WHITE 300X600 WALL TILES OVER TILE SUBSTRATE, HORIZONTAL ORIENTATION

PERMIT ISSUE

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ISSUE	AMENDMENT	DATE
1	TENDER ISSUE	16.10.24

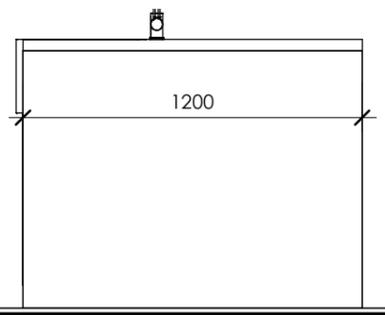
PROJECT
**ALTERATIONS & ADDITIONS
3 AUSTIN ROAD, HAMPTON**

DRAWING
INTERIORS - KITCHEN

DATE
NOV 24

G KITCHEN ISLAND - ELEVATION 4

A1001 SCALE 1 : 25 (A3)



DRAWING No.
A1002

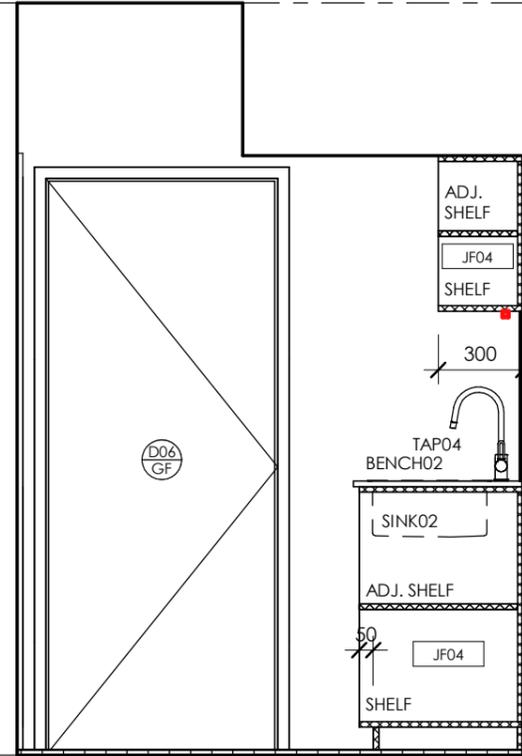
PROJECT PREPARED BY
Bearwood BUILDING

DATE
1

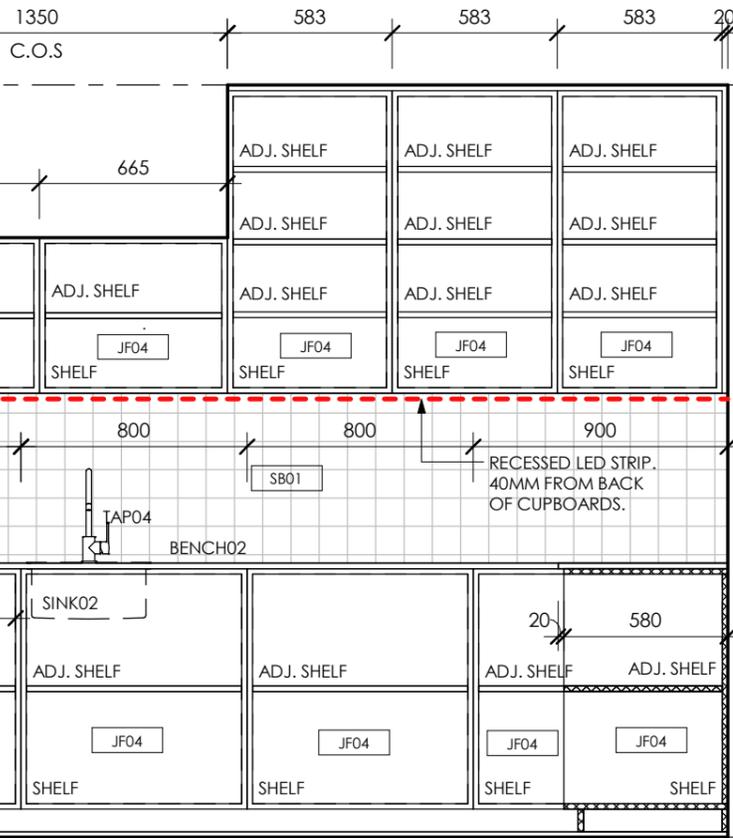


EX FCL
RL. 26.590

EX FFL
RL. 23.930



3 PANTRY - ELEVATION 1
A1001 SCALE 1 : 25 (A3)



4 PANTRY ELEVATION 2
A1001 SCALE 1 : 25 (A3)

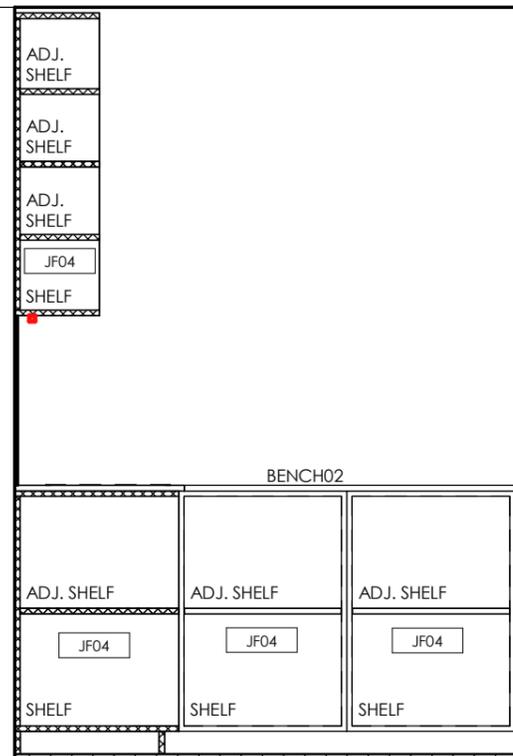
FINISHES KEY

JF01	GENERIC WHITE CARCASS MELAMINE
JF02	NA
JF03	POLYTEC RAVINE 'NATURAL OAK' MELAMINE FINISH
JF04	POLYTEC ULTRAMATT 'JASMINE' MELAMINE FINISH
WF01	10MM STANDARD PLASTERBOARD WITH PAINT FINISH
WF02	10MM MOISTURE RESISTANT PLASTERBOARD WITH PAINT FINISH
WF03	WHITE 300X600 WALL TILES OVER TILE SUBSTRATE
WF04	FEATURE WALL TILES 100X100 OR 50X150 OVER TILE SUBSTRATE, HORIZONTAL ORIENTATION

EX FFL
RL. 23.930

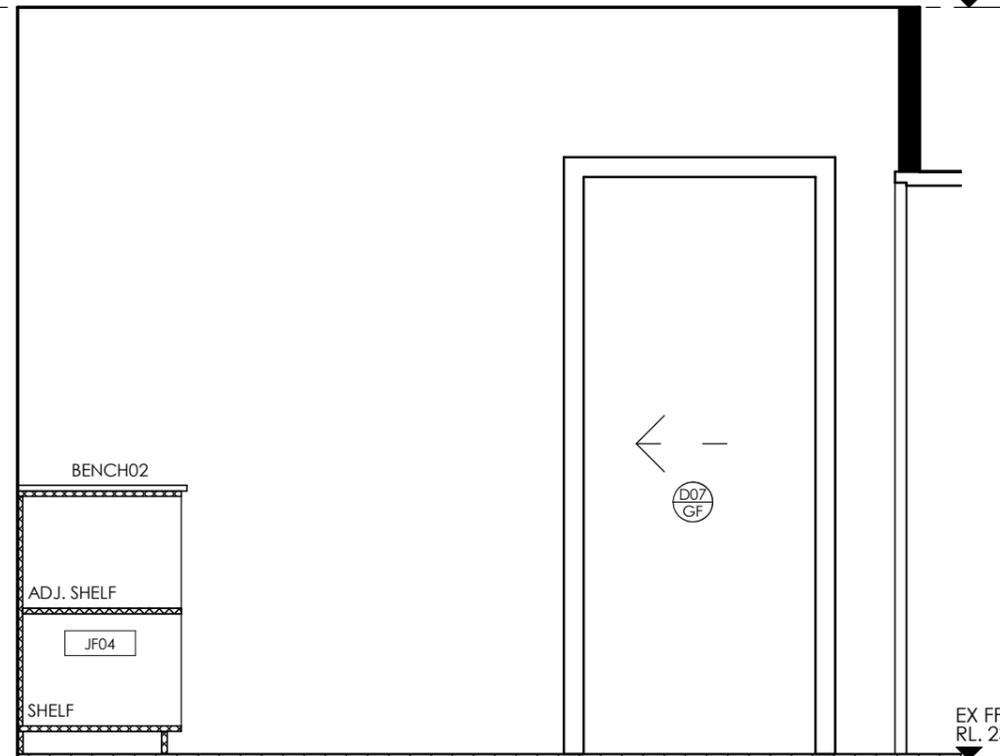
EX FCL
RL. 26.590

EX FCL
RL. 26.590



5 PANTRY ELEVATION 3
A1001 SCALE 1 : 25 (A3)

EX FFL
RL. 23.930



1 PANTRY - ELEVATION 4
A1001 SCALE 1 : 25 (A3)

EX FFL
RL. 23.930

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ISSUE**

ISSUE	AMENDMENT	DATE
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PROJECT
**ALTERATIONS & ADDITIONS
3 AUSTIN ROAD, HAMPTON**

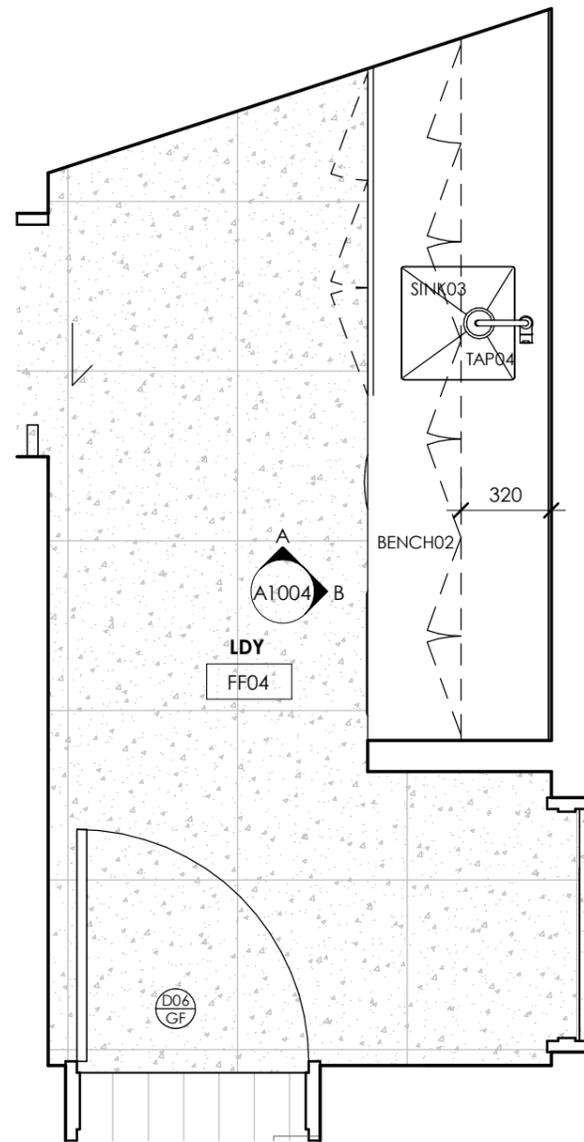
DRAWING
INTERIORS - PANTRY

DATE
NOV 24

PROJECT PREPARED BY
**Bearwood
BUILDING**

DRAWING No.
A1003

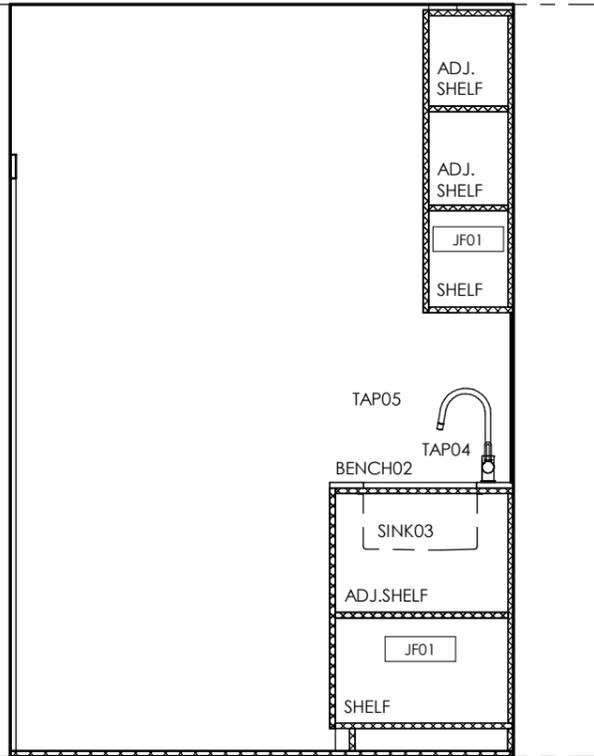




1 LDY - PLAN
A103 SCALE 1 : 25 (A3)

EX FCL
RL. 26.590

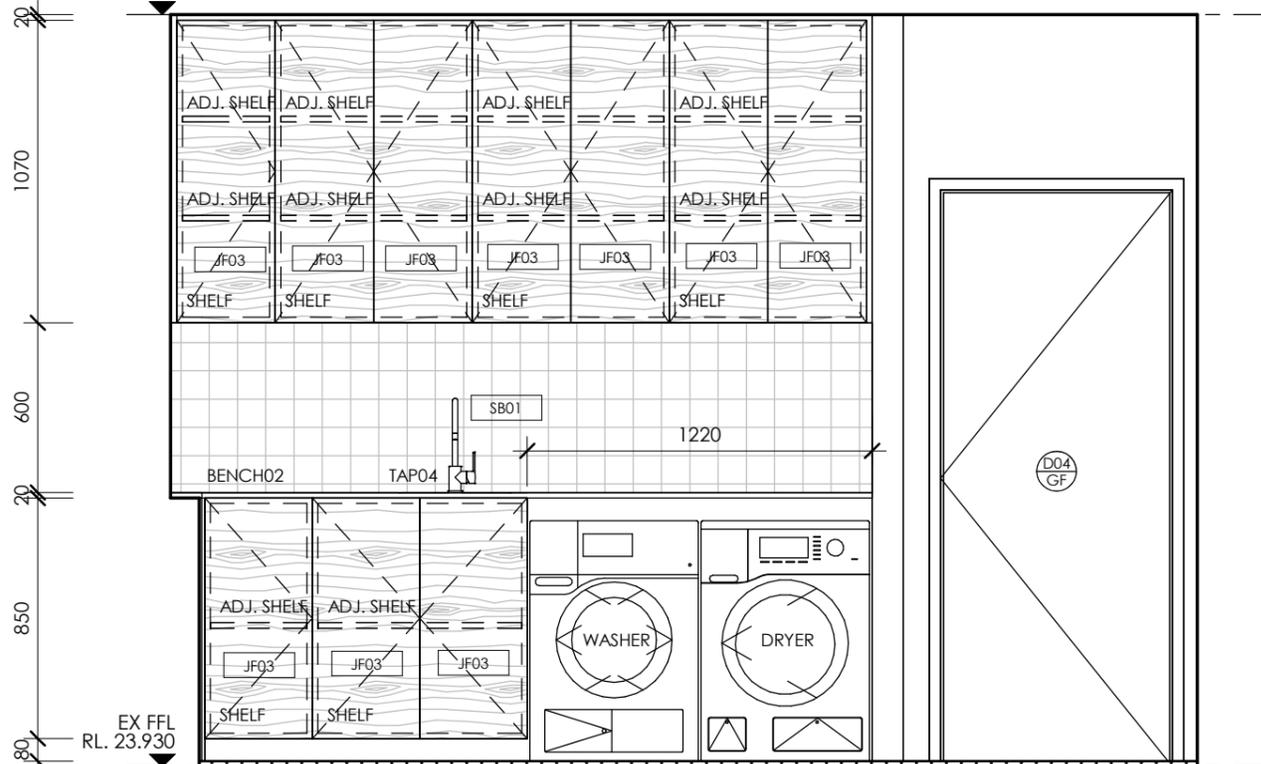
EX FFL
RL. 23.930



A LDY - ELEVATION 1
A1004 SCALE 1 : 25 (A3)

EX FCL
RL. 26.590

EX FFL
RL. 23.930



B LDY - ELEVATION 2
A1004 SCALE 1 : 25 (A3)

FINISHES KEY

JF01	GENERIC WHITE CARCASS MELAMINE
JF02	NA
JF03	POLYTEC RAVINE 'NATURAL OAK' MELAMINE FINISH
JF04	POLYTEC ULTRAMATT 'JASMINE' MELAMINE FINISH
WF01	10MM STANDARD PLASTERBOARD WITH PAINT FINISH
WF02	10MM MOISTURE RESISTANT PLASTERBOARD WITH PAINT FINISH
WF03	WHITE 300X600 WALL TILES OVER TILE SUBSTRATE
WF04	FEATURE WALL TILES 100X100 OR 50X150 OVER TILE SUBSTRATE, HORIZONTAL ORIENTATION

**PERMIT
ISSUE**

ISSUE	AMENDMENT	DATE
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PROJECT
**ALTERATIONS & ADDITIONS
3 AUSTIN ROAD, HAMPTON**

DRAWING
INTERIORS - LDY

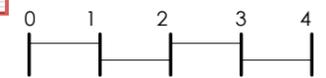
DATE
NOV 24

PROJECT PREPARED BY
**Bearwood
BUILDING**

DRAWING No.
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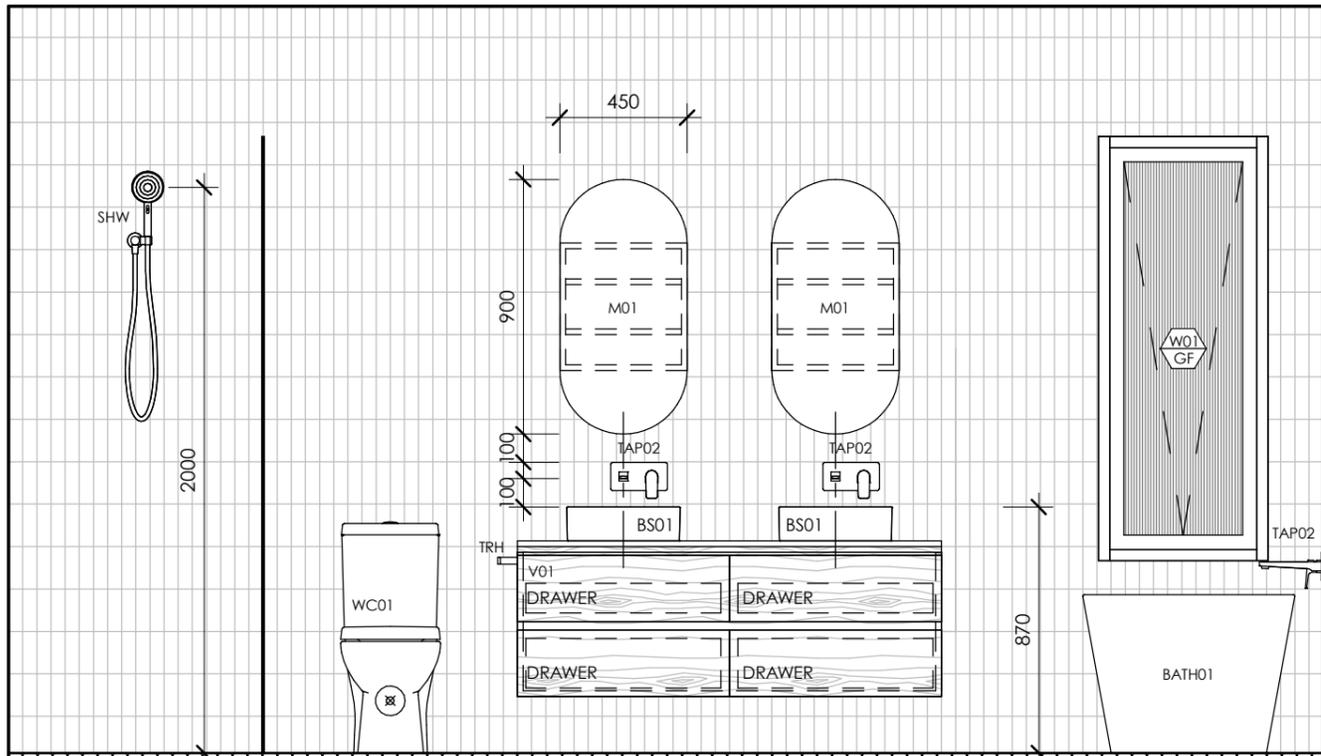
SCALE
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MBS
Metro Building Surveying
APPROVED BUILDING PERMIT
Permit No 1775635451113
Permit Date 10/12/2024
SCALE @ A3 ISSUE SCALE



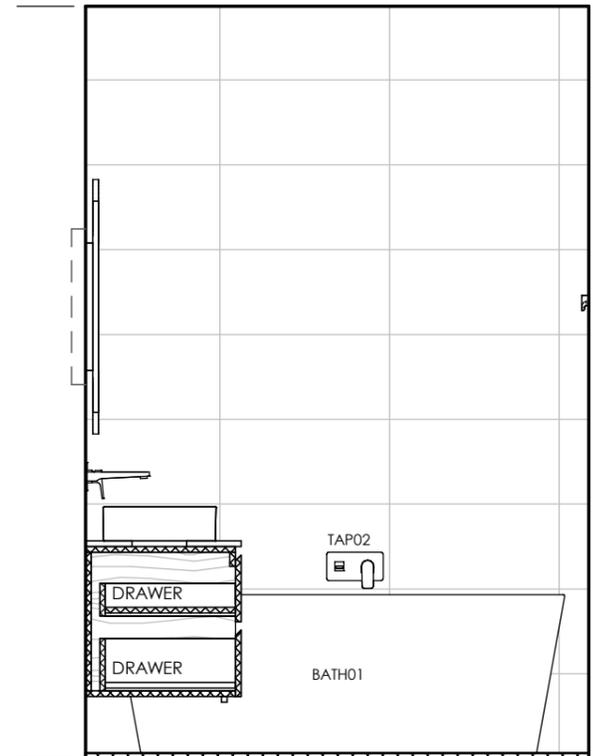
EX FCL
RL. 26.590

EX FFL
RL. 23.930



EX FCL
RL. 26.590

EX FFL
RL. 23.930



C ENS 01 - ELEVATION 3
A1010 SCALE 1 : 25 (A3)

D ENS 01 - ELEVATION 4
A1010 SCALE 1 : 25 (A3)

FINISHES KEY

FF01	EPOXY FLOORING
FF02	TIMBER OVERLAY FLOORBOARDS OVER YELLOW TOUNGE FLOORING- FLOORBOARDS BY OTHERS
FF03	CARPET OVER FOAM UNDERLAY OVER YELLOW TOUNGE FLOORING
FF04	600X600 FLOOR TILES OVER TILE UNDERLAY OVER SCYON CEMENT SHEET FLOORING
WF01	10MM STANDARD PLASTERBOARD WITH PAINT FINISH
WF02	10MM MOISTURE RESISTANT PLASTERBOARD WITH PAINT FINISH
WF03	WHITE 300X600 WALL TILES OVER TILE SUBSTRATE
WF04	FEATURE WALL TILES 100X100 OR 50X150 OVER TILE SUBSTRATE, HORIZONTAL ORIENTATION

PERMIT ISSUE

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ISSUE	AMENDMENT	DATE
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PROJECT
**ALTERATIONS & ADDITIONS
3 AUSTIN ROAD, HAMPTON**

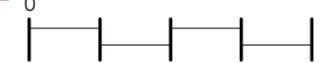
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INTERIORS - ENS 01

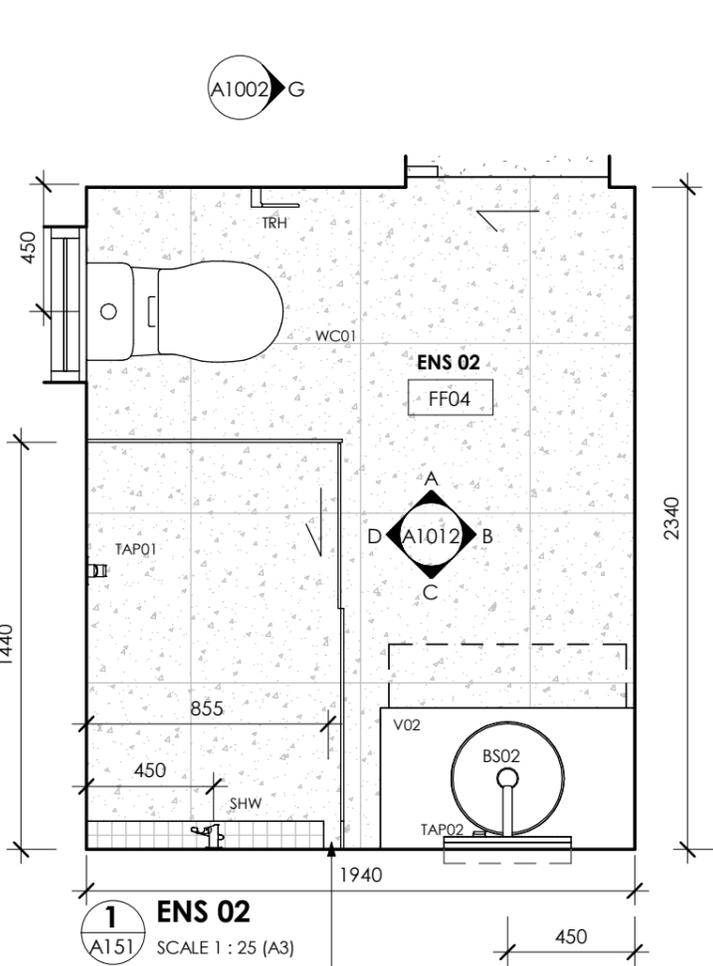
DATE
NOV 24

PROJECT PREPARED BY
Bearwood BUILDING

DRAWING No.
A1011

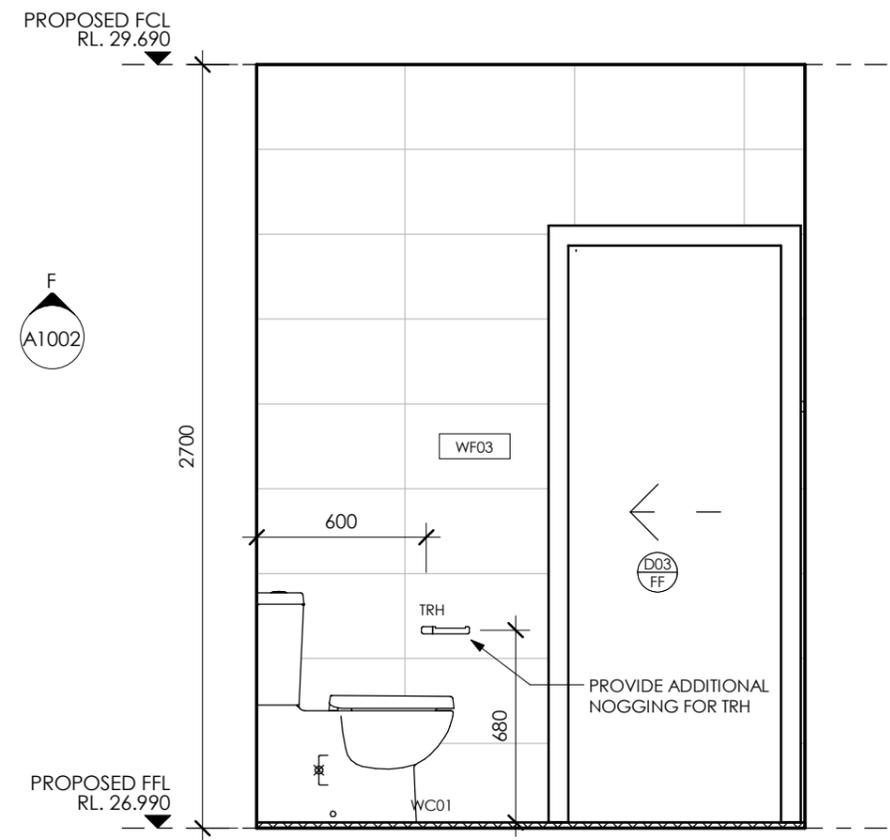
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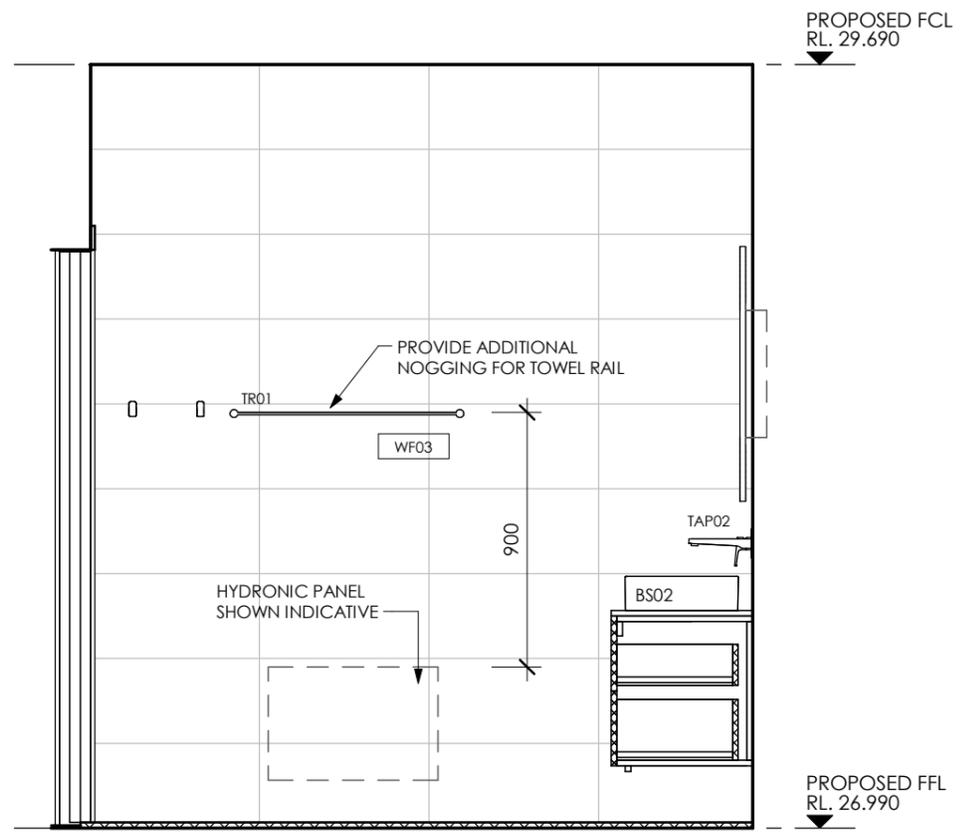


1 ENS 02
A151 SCALE 1 : 25 (A3)

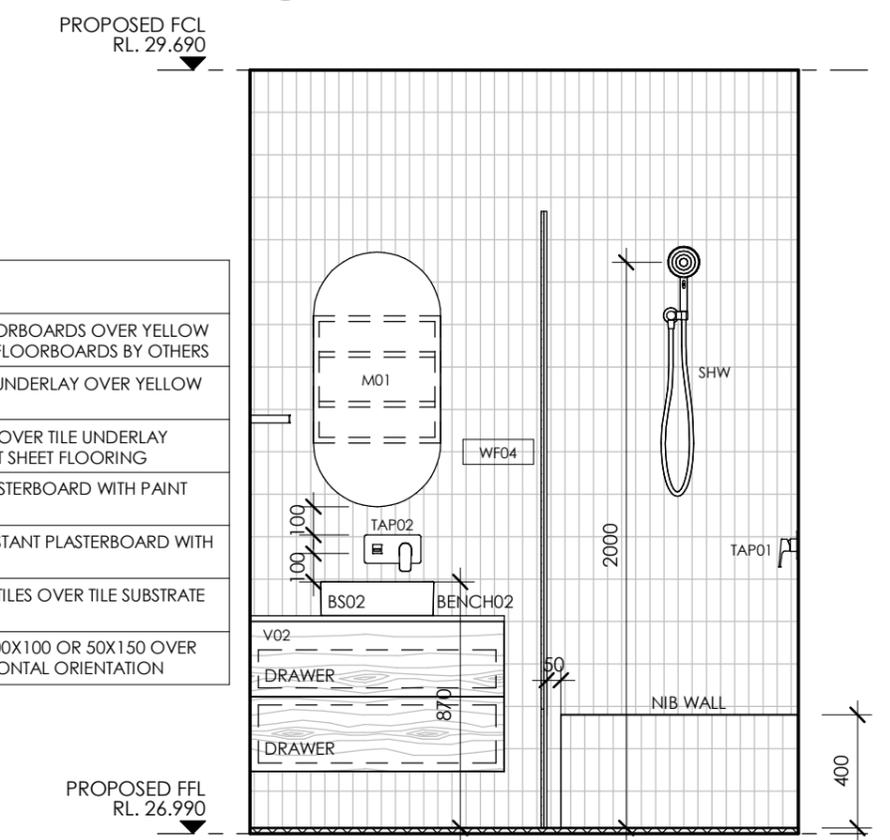
- WATERPROOF ENTIRE BATHROOM FLOOR & WALL JUNCTIONS UP TO 75MM UP.
- WATERPROOF ALL SHOWER WALLS UP TO 1.8M
- WATERSTOP TO DOOR ENTRY AS PER PART 10.2.2-10.2.6 OF ACBC HOUSING PROVISIONS & AS3740



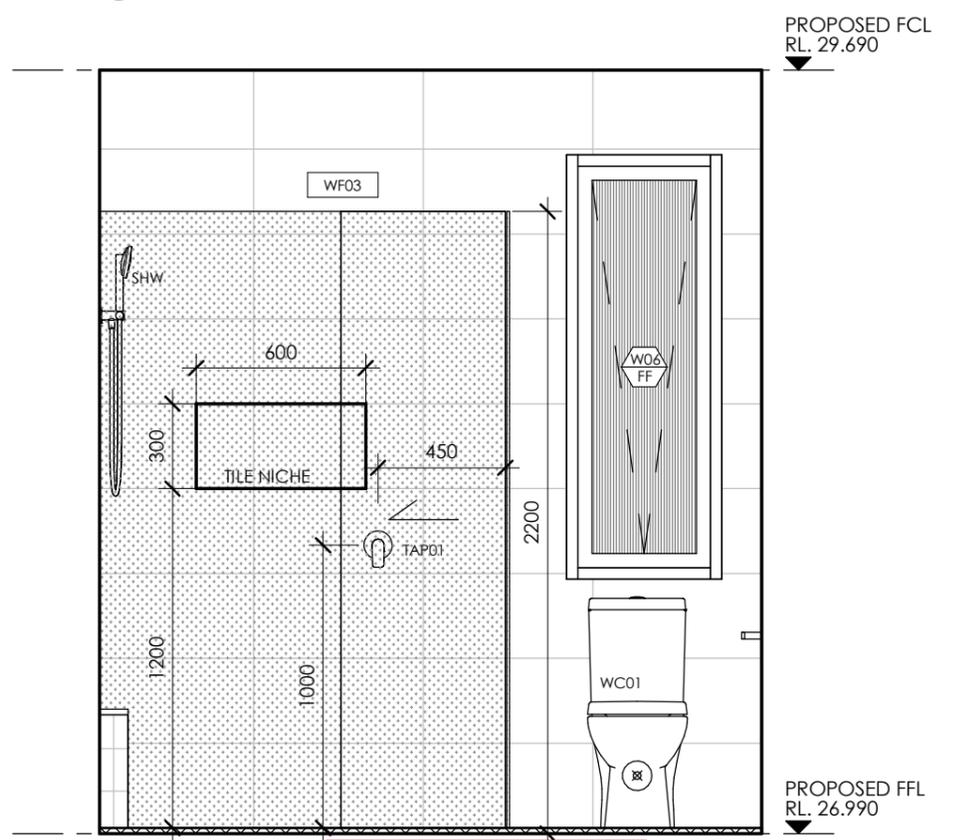
A ENS 02 - ELEVATION 1
A1012 SCALE 1 : 25 (A3)



B ENS 02 - ELEVATION 2
A1012 SCALE 1 : 25 (A3)



C ENS 02 - ELEVATION 3
A1012 SCALE 1 : 25 (A3)



D ENS 02 - ELEVATION 4
A1012 SCALE 1 : 25 (A3)

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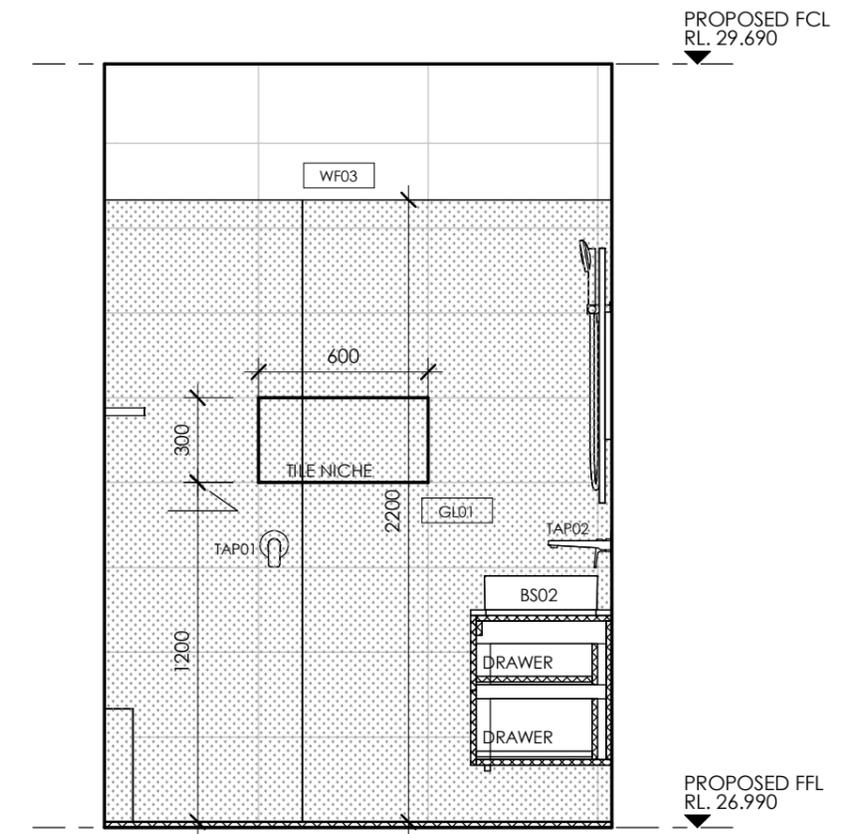
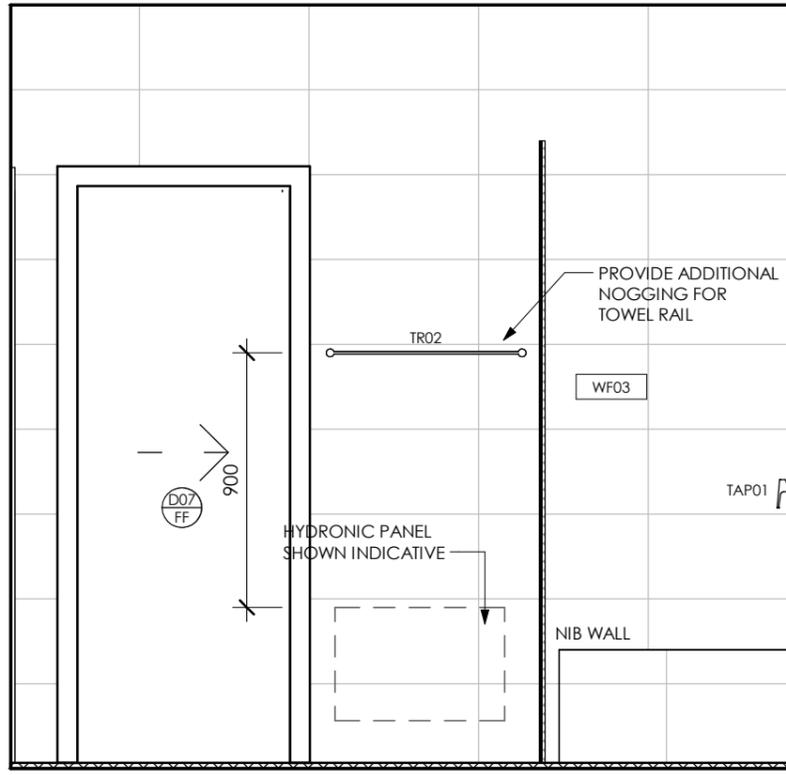
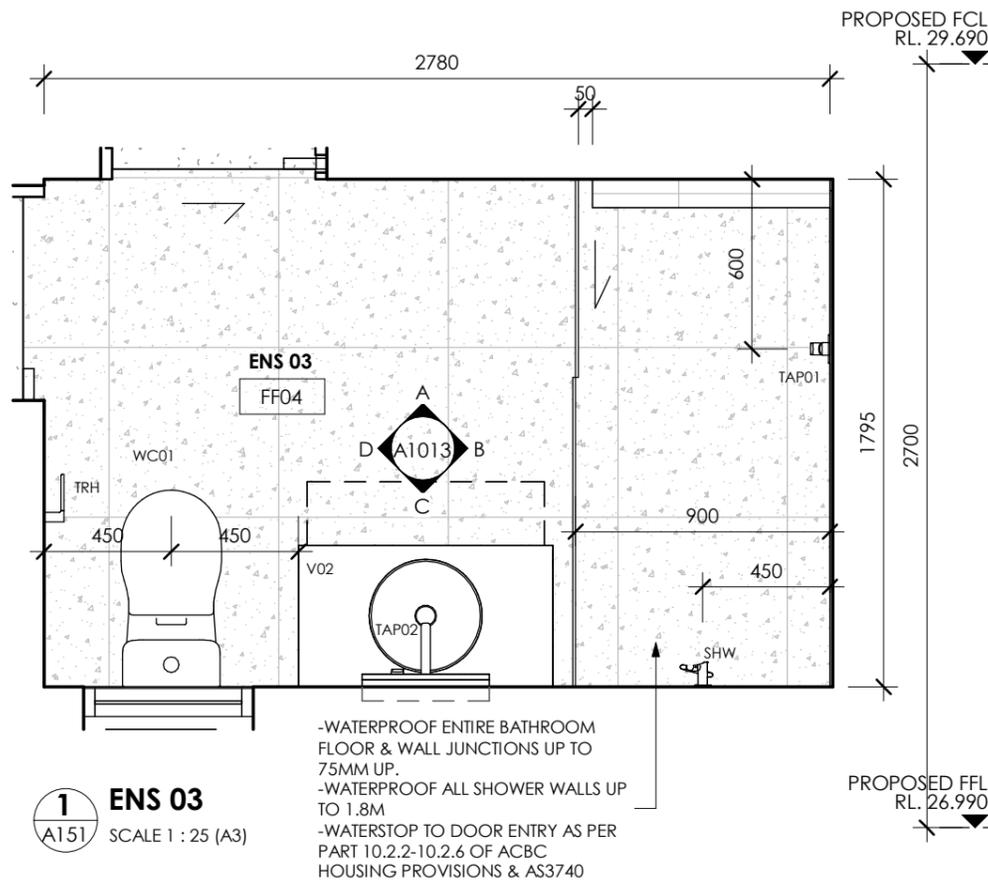
FINISHES KEY

FF01	EPOXY FLOORING
FF02	TIMBER OVERLAY FLOORBOARDS OVER YELLOW TOUNGE FLOORING- FLOORBOARDS BY OTHERS
FF03	CARPET OVER FOAM UNDERLAY OVER YELLOW TOUNGE FLOORING
FF04	600X600 FLOOR TILES OVER TILE UNDERLAY OVER SCYON CEMENT SHEET FLOORING
WF01	10MM STANDARD PLASTERBOARD WITH PAINT FINISH
WF02	10MM MOISTURE RESISTANT PLASTERBOARD WITH PAINT FINISH
WF03	WHITE 300X600 WALL TILES OVER TILE SUBSTRATE
WF04	FEATURE WALL TILES 100X100 OR 50X150 OVER TILE SUBSTRATE, HORIZONTAL ORIENTATION

PERMIT ISSUE

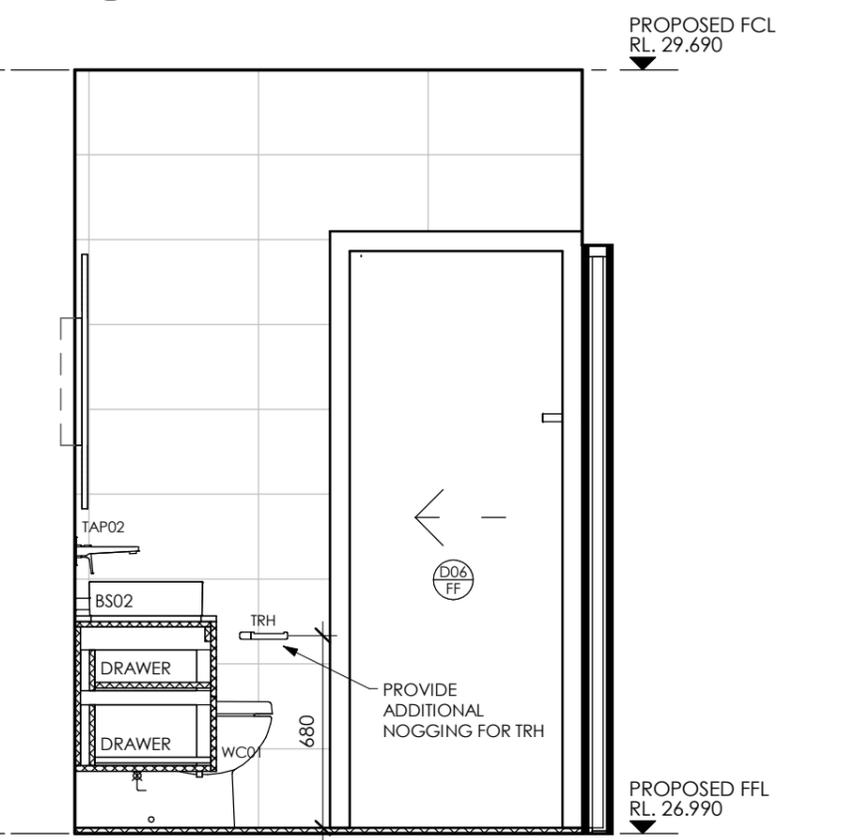
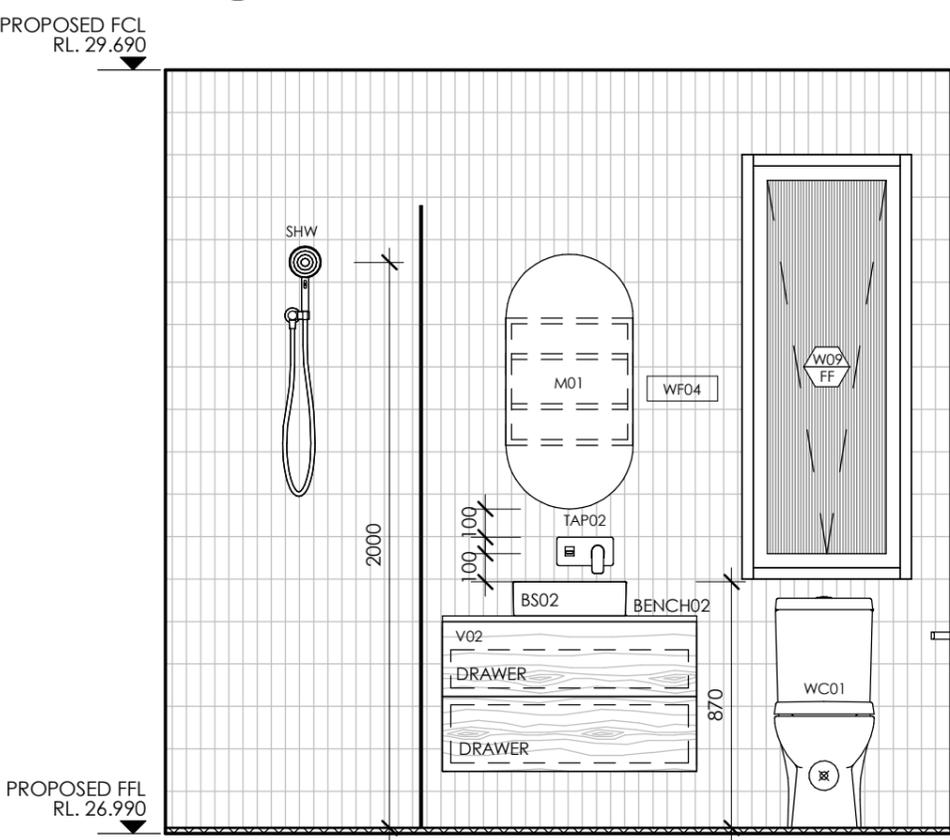
ISSUE	AMENDMENT	DATE
1	TENDER ISSUE	16.10.24





FINISHES KEY

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WF04	FEATURE WALL TILES 100X100 OR 50X150 OVER TILE SUBSTRATE, HORIZONTAL ORIENTATION



**PERMIT
ISSUE**

ISSUE	AMENDMENT	DATE
1	TENDER ISSUE	16.10.24

PROJECT
**ALTERATIONS & ADDITIONS
3 AUSTIN ROAD, HAMPTON**

DRAWING
INTERIORS - ENS 03

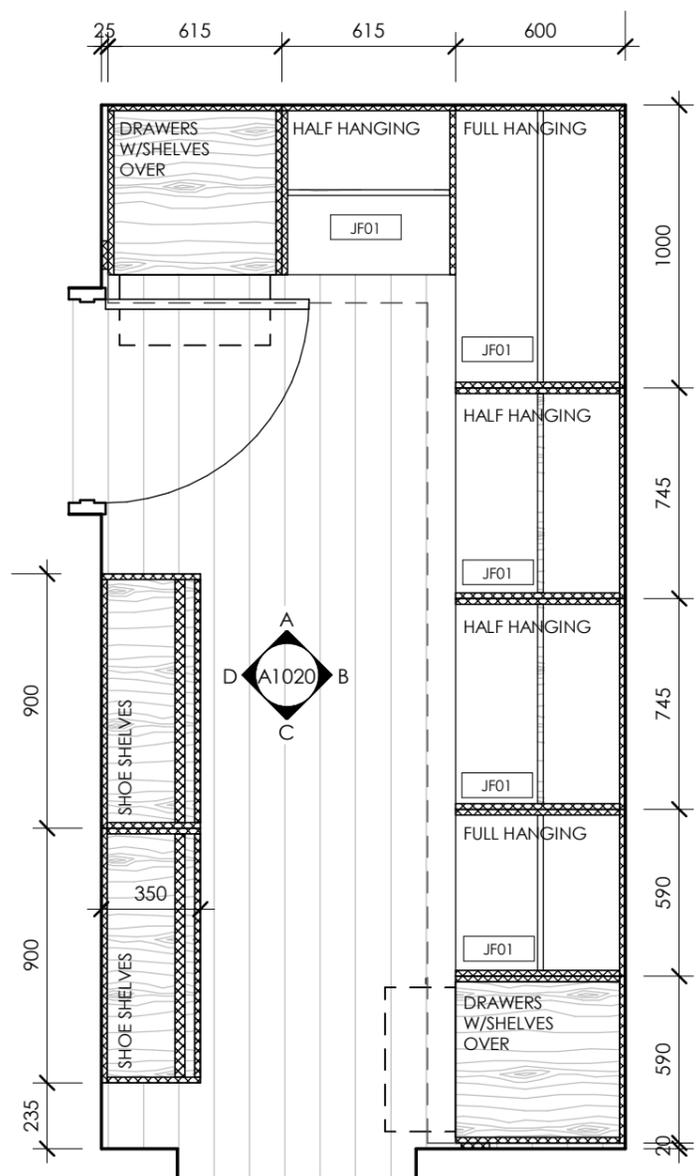
DATE
NOV 24

PROJECT PREPARED BY
**Bearwood
BUILDING**

DRAWING No.
A1013

MBS Metro Building Surveying
APPROVED BUILDING PERMIT
Permit No 1775635451113
Permit Date 10/12/2024
SCALE @ A3 ISSUE SCALE





FINISHES KEY

JF01	GENERIC WHITE CARCASS MELAMINE
JF02	NA
JF03	POLYTEC RAVINE 'NATURAL OAK' MELAMINE FINISH
JF04	POLYTEC ULTRAMATT 'JASMINE' MELAMINE FINISH
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**PERMIT
ISSUE**

ISSUE	AMENDMENT	DATE
1	TENDER ISSUE	16.10.24

PROJECT
**ALTERATIONS & ADDITIONS
3 AUSTIN ROAD, HAMPTON**

DRAWING
INTERIORS - WIR 01

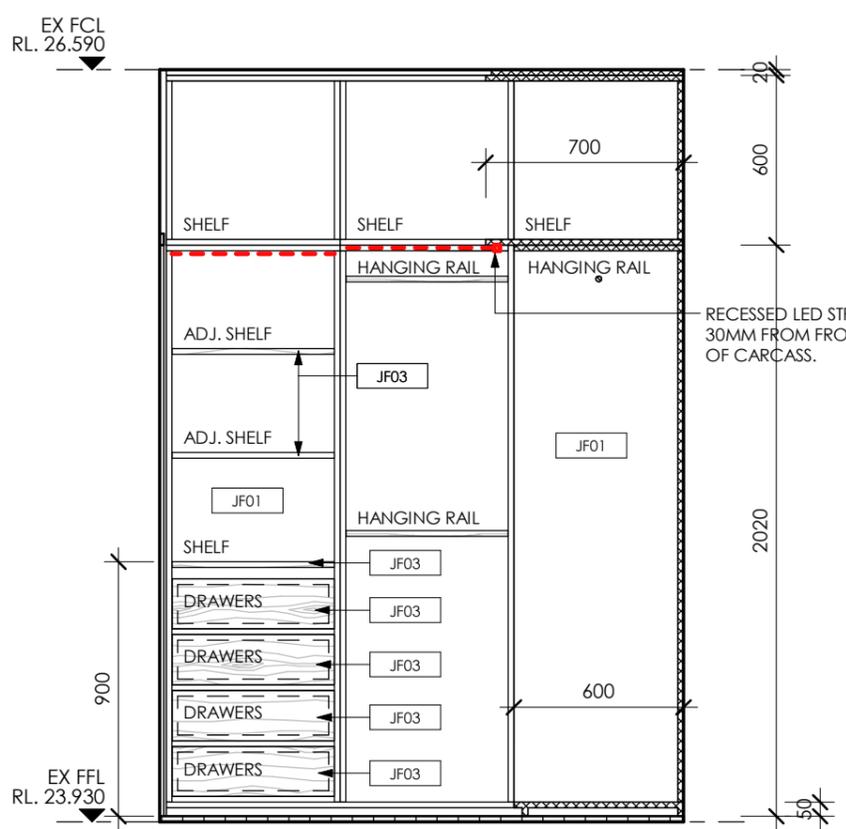
DATE
NOV 24

PROJECT PREPARED BY
**Bearwood
BUILDING**

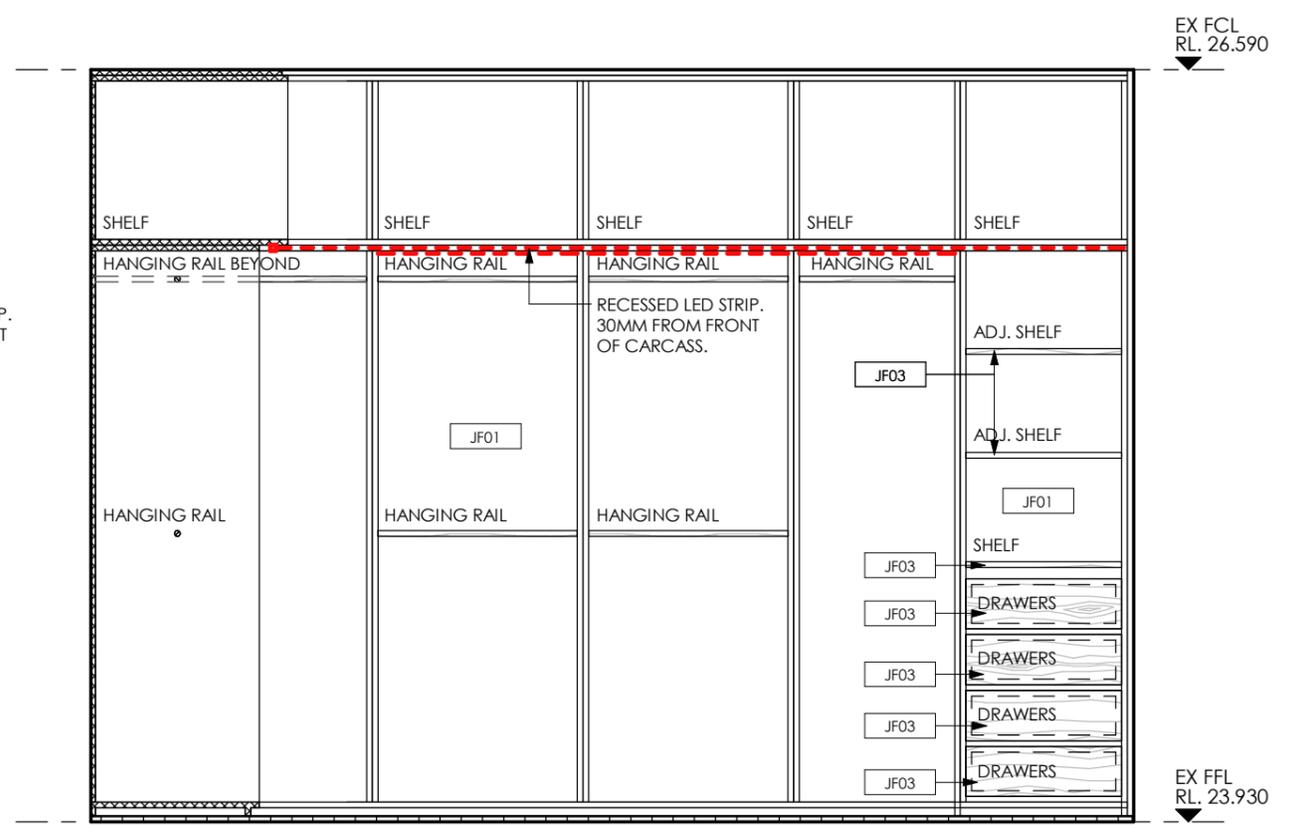
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A1020



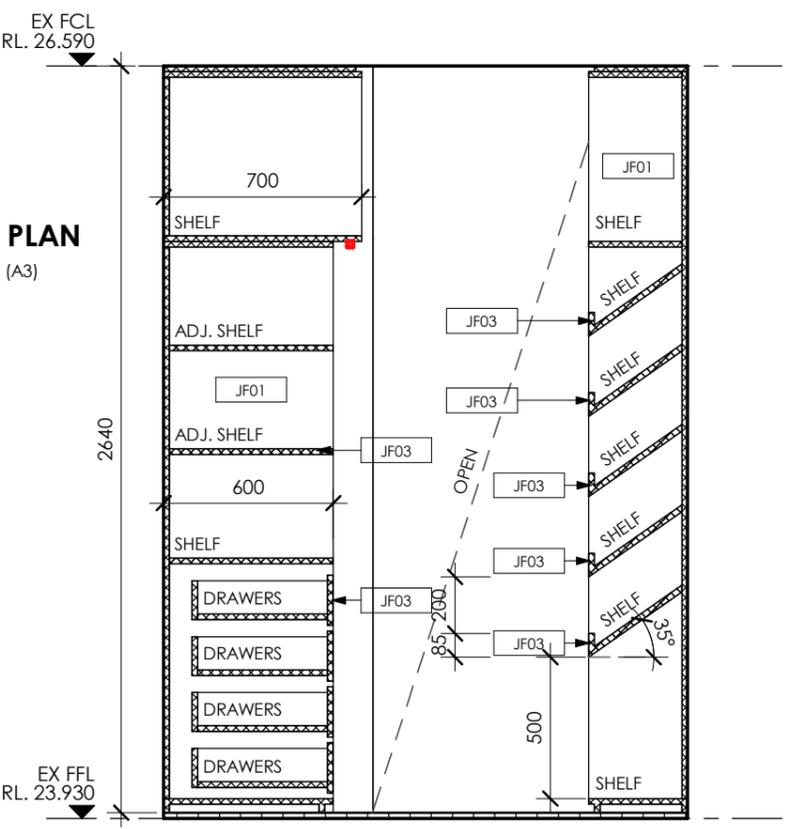
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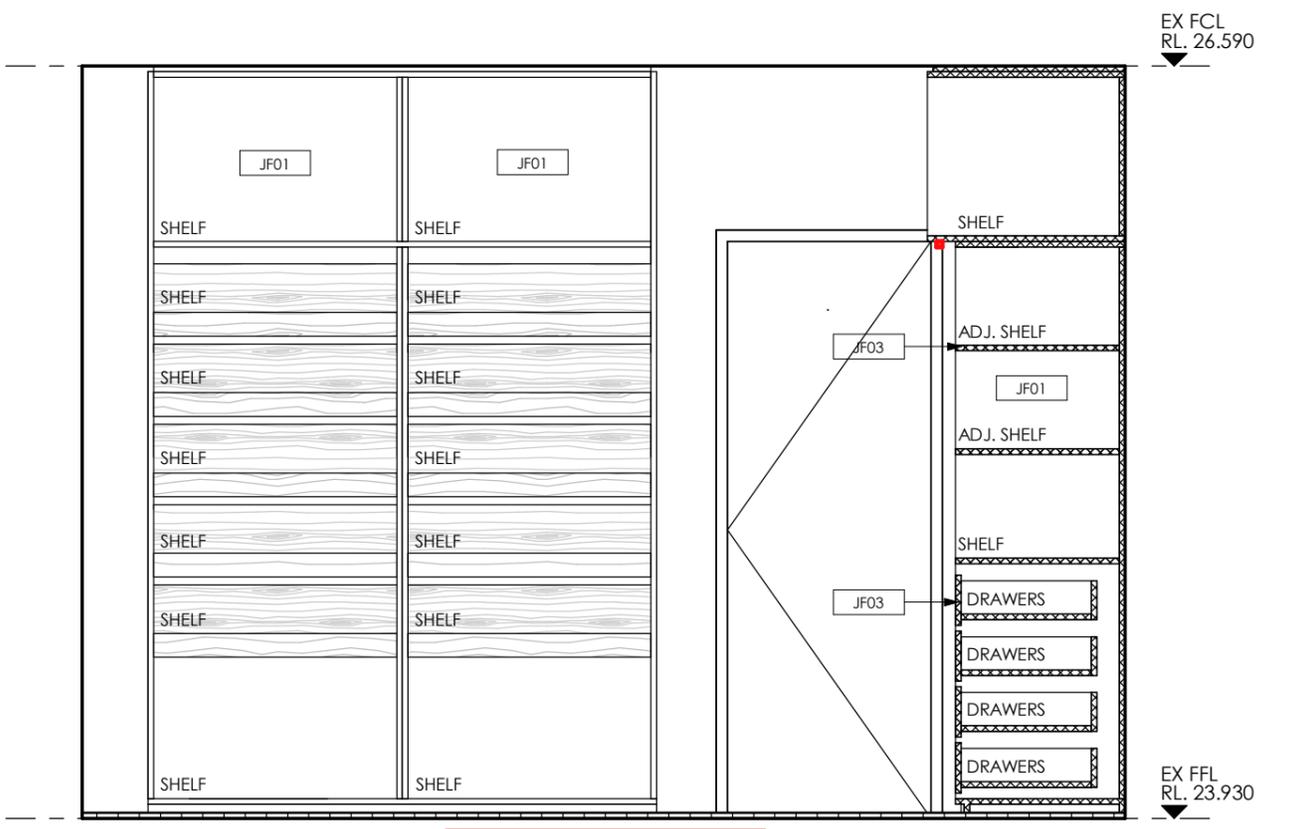
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A1020 SCALE 1 : 25 (A3)



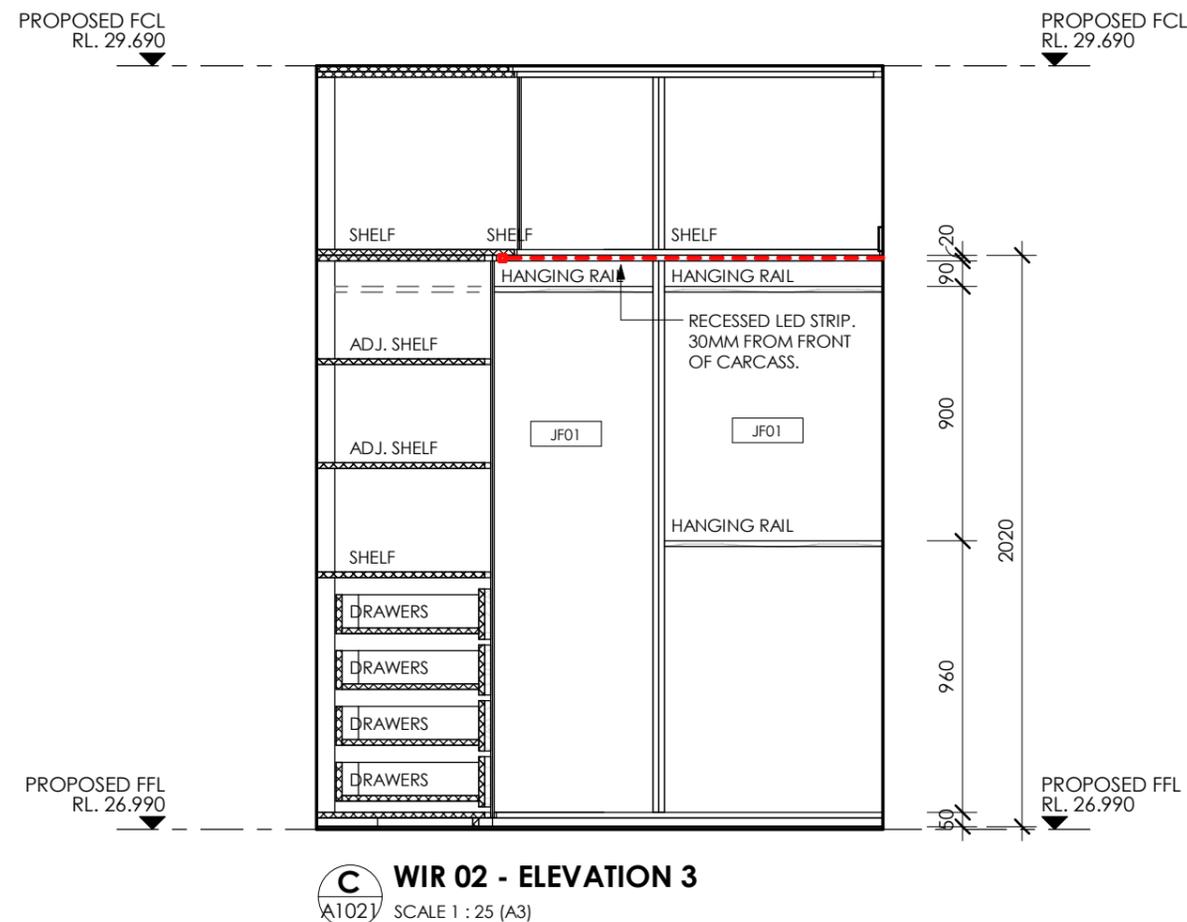
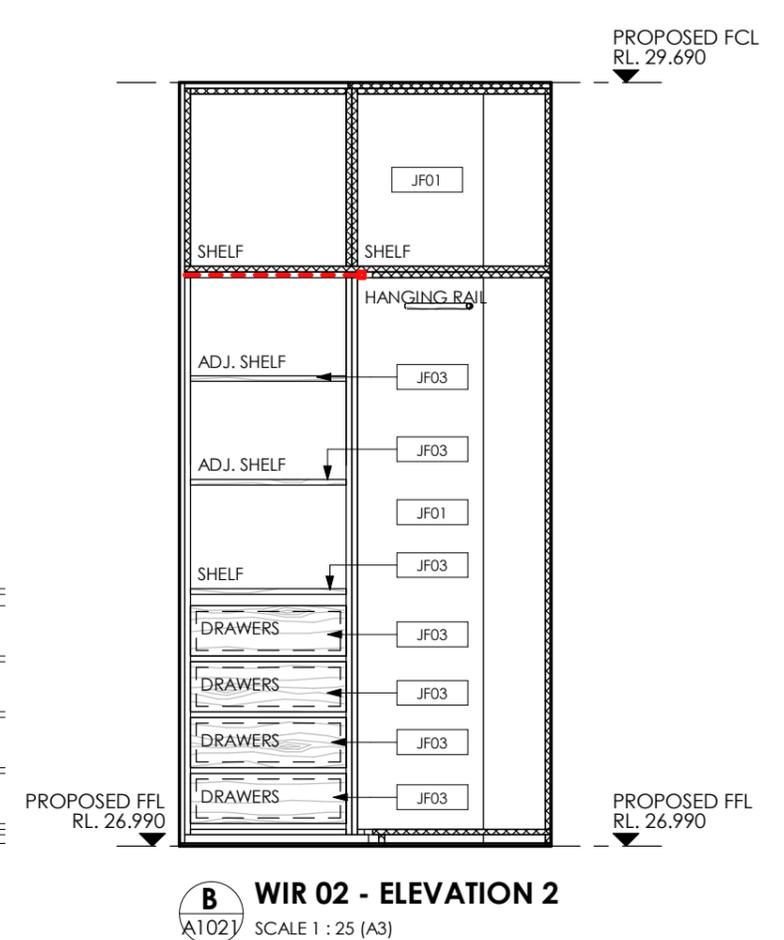
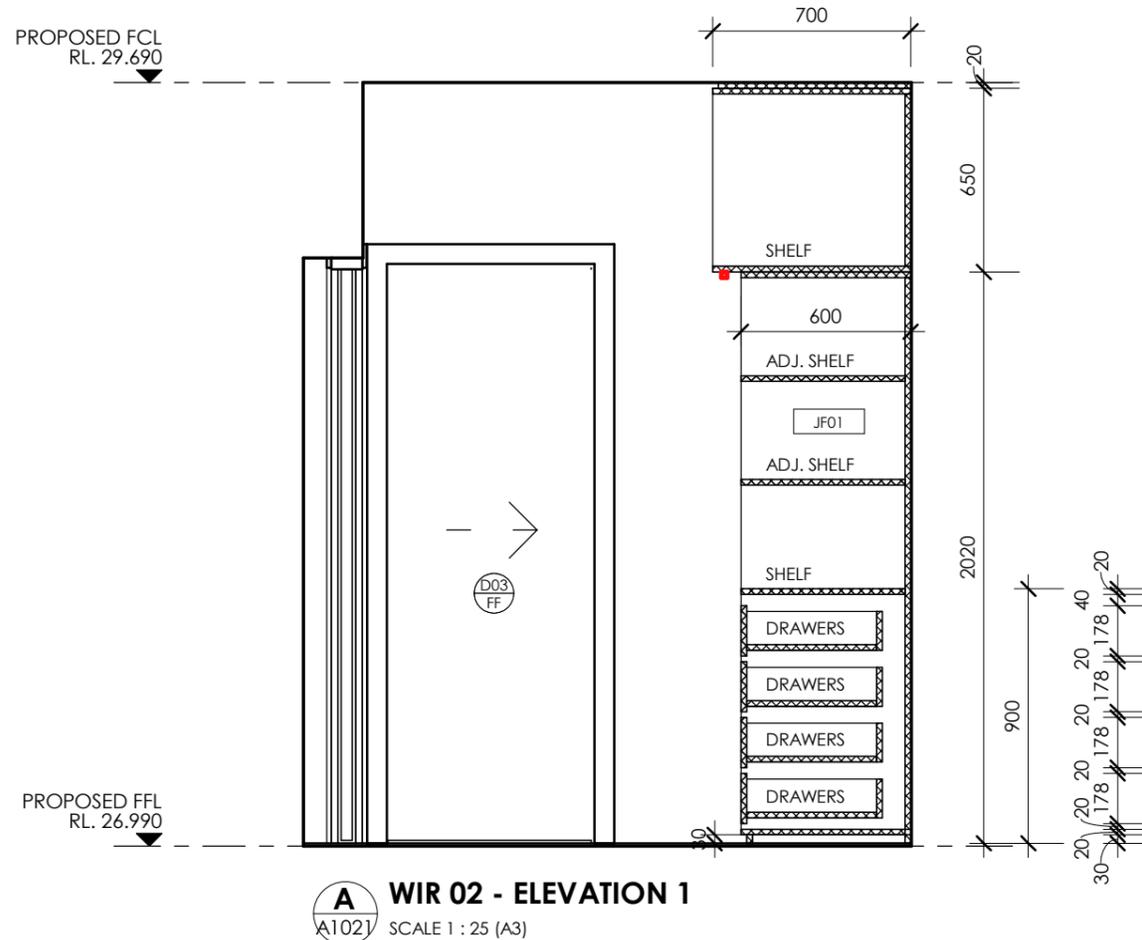
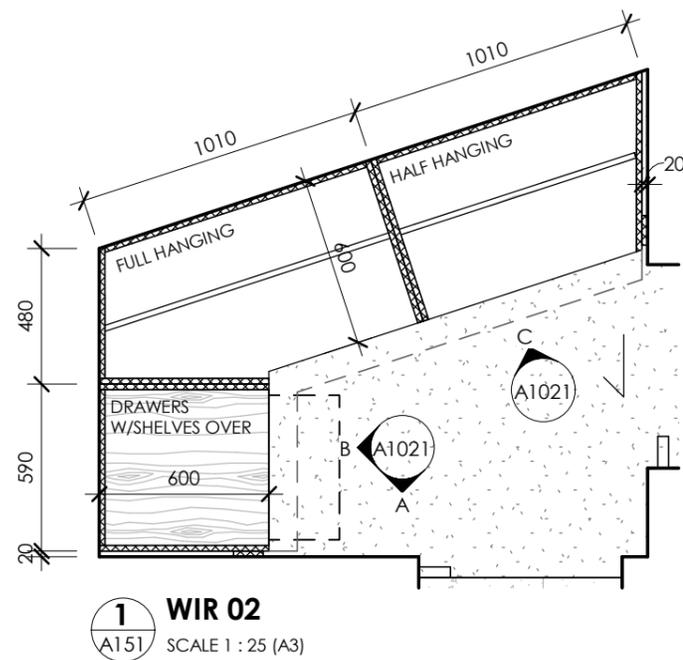
B WIR 01 - ELEVATION 2
A1020 SCALE 1 : 25 (A3)



C WIR 01 - ELEVATION 3
A1020 SCALE 1 : 25 (A3)



D WIR 01 - ELEVATION 4
A1020 SCALE 1 : 25 (A3)



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**PERMIT
ISSUE**

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FINISHES KEY

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JF02	NA
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PROJECT
**ALTERATIONS & ADDITIONS
3 AUSTIN ROAD, HAMPTON**

DRAWING
INTERIORS - WIR 02

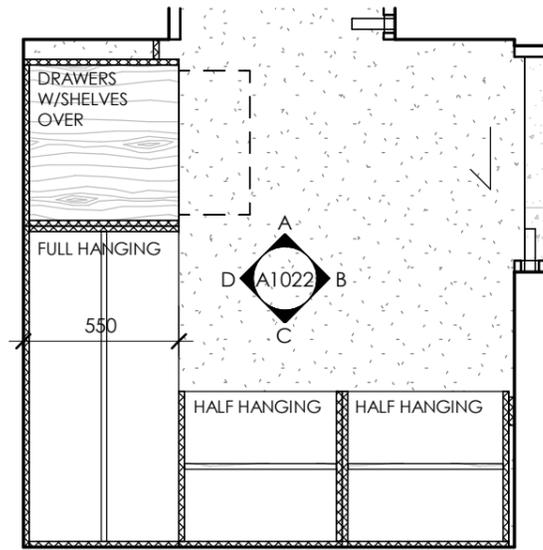
DATE
NOV 24

PROJECT PREPARED BY
**Bearwood
BUILDING**

DRAWING No.
A1021

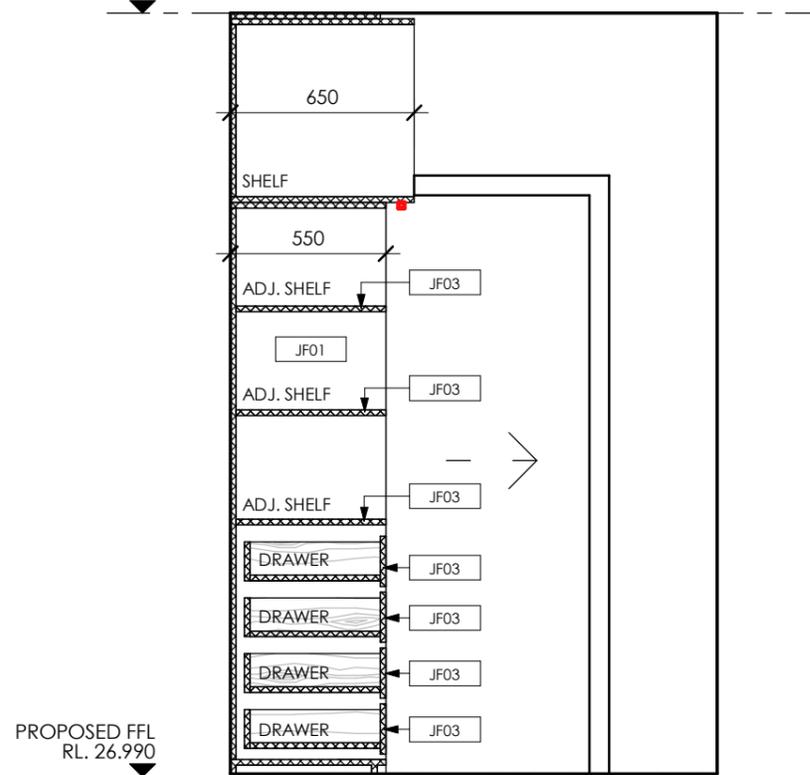
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1 WIR 03
A151 SCALE 1 : 25 (A3)

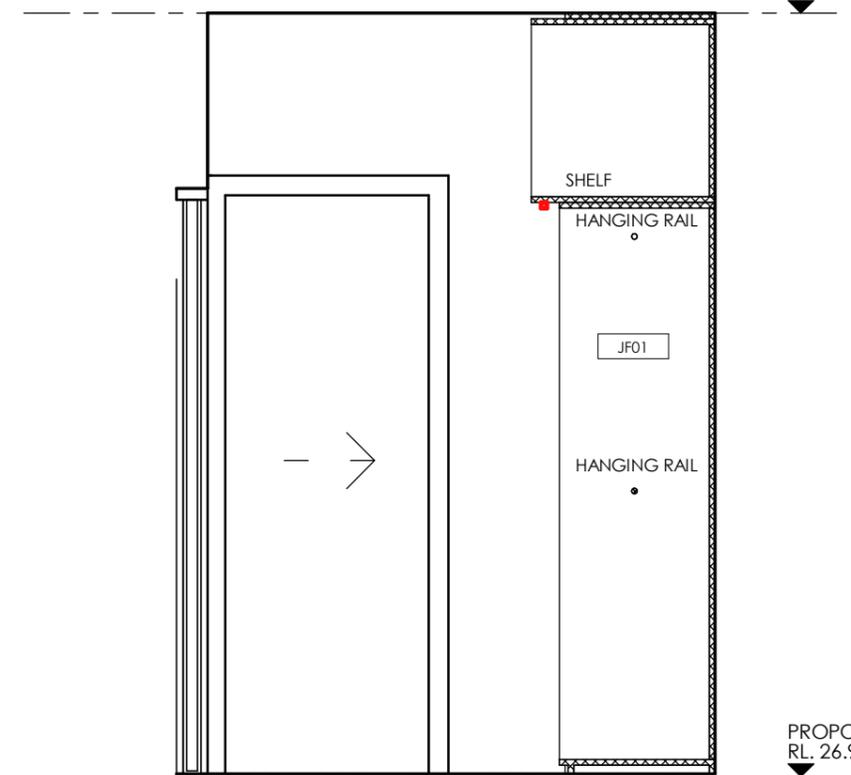
PROPOSED FCL
RL. 29.690



PROPOSED FFL
RL. 26.990

A WIR 03 - ELEVATION 1
A1022 SCALE 1 : 25 (A3)

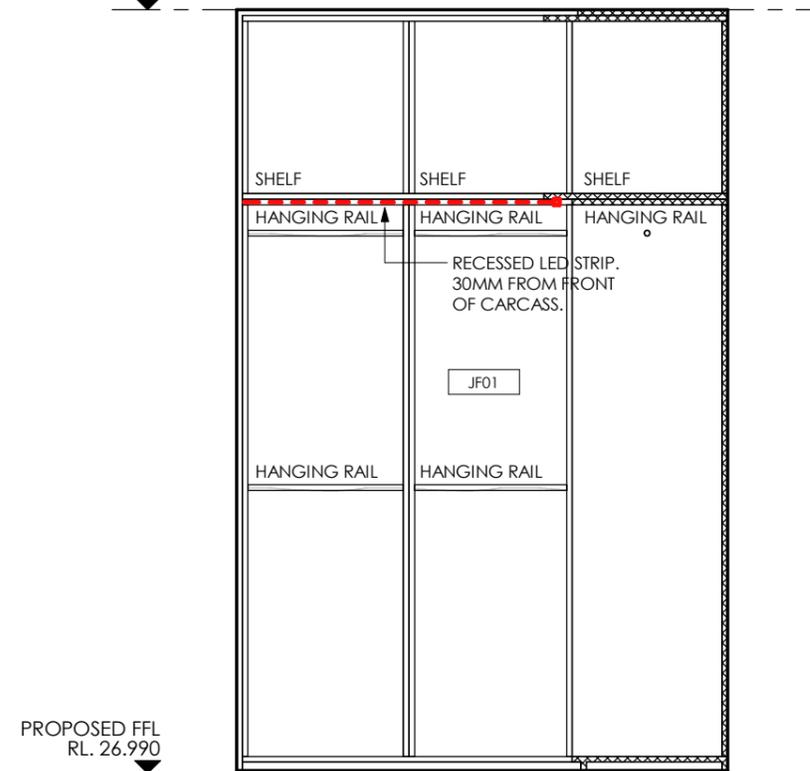
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PROPOSED FFL
RL. 26.990

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A1022 SCALE 1 : 25 (A3)

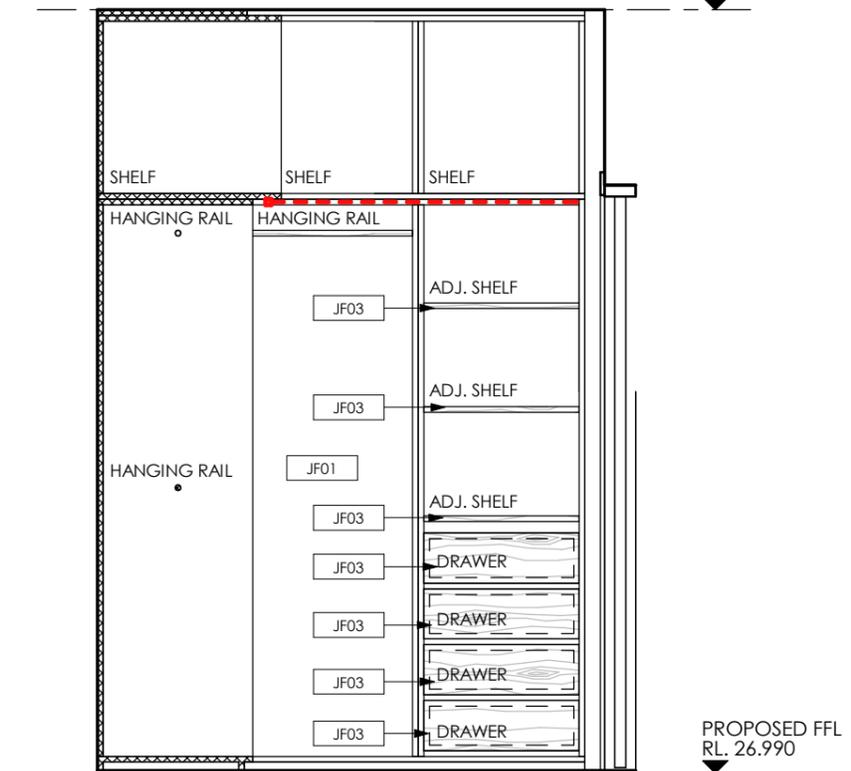
PROPOSED FCL
RL. 29.690



PROPOSED FFL
RL. 26.990

C WIR 03 - ELEVATION 3
A1022 SCALE 1 : 25 (A3)

PROPOSED FCL
RL. 29.690



PROPOSED FFL
RL. 26.990

D WIR 03 - ELEVATION 4
A1022 SCALE 1 : 25 (A3)

GENERAL NOTES:

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FIGURES & DIMENSIONS TAKE PRECEDENCE OVER SCALE DIMENSIONS.

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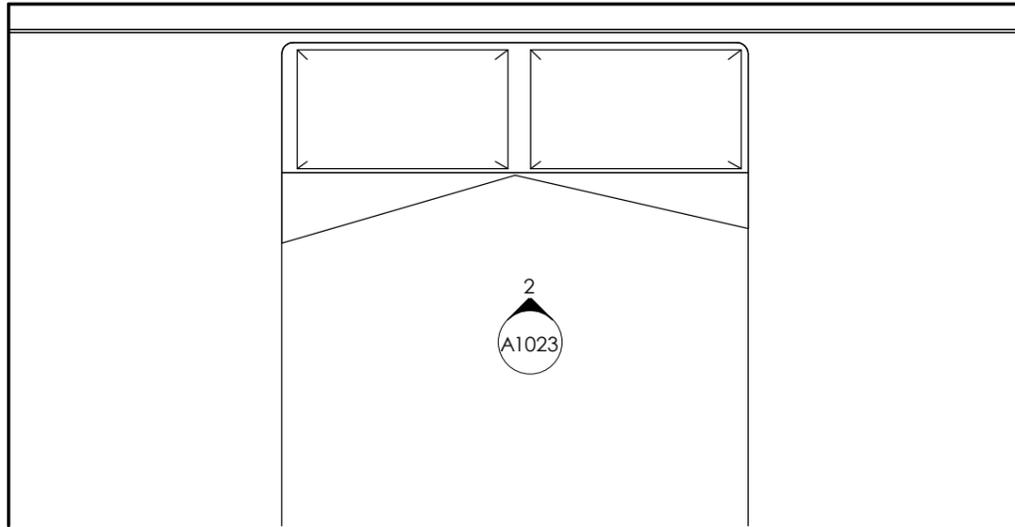
FINISHES KEY

JF01	GENERIC WHITE CARCASS MELAMINE
JF02	NA
JF03	POLYTEC RAVINE 'NATURAL OAK' MELAMINE FINISH
JF04	POLYTEC ULTRAMATT 'JASMINE' MELAMINE FINISH
WF01	10MM STANDARD PLASTERBOARD WITH PAINT FINISH
WF02	10MM MOISTURE RESISTANT PLASTERBOARD WITH PAINT FINISH
WF03	WHITE 300X600 WALL TILES OVER TILE SUBSTRATE
WF04	FEATURE WALL TILES 100X100 OR 50X150 OVER TILE SUBSTRATE, HORIZONTAL ORIENTATION

**PERMIT
ISSUE**

ISSUE	AMENDMENT	DATE
1	TENDER ISSUE	16.10.24





1 BED 01 - PLAN
A103 SCALE 1 : 25 (A3)

GENERAL NOTES:

CONTRACTORS & SUB CONTRACTORS SHALL VERIFY ALL DIMENSIONS OF THIS DRAWING & SITE CONDITIONS PRIOR TO ANY WORK COMMENCING

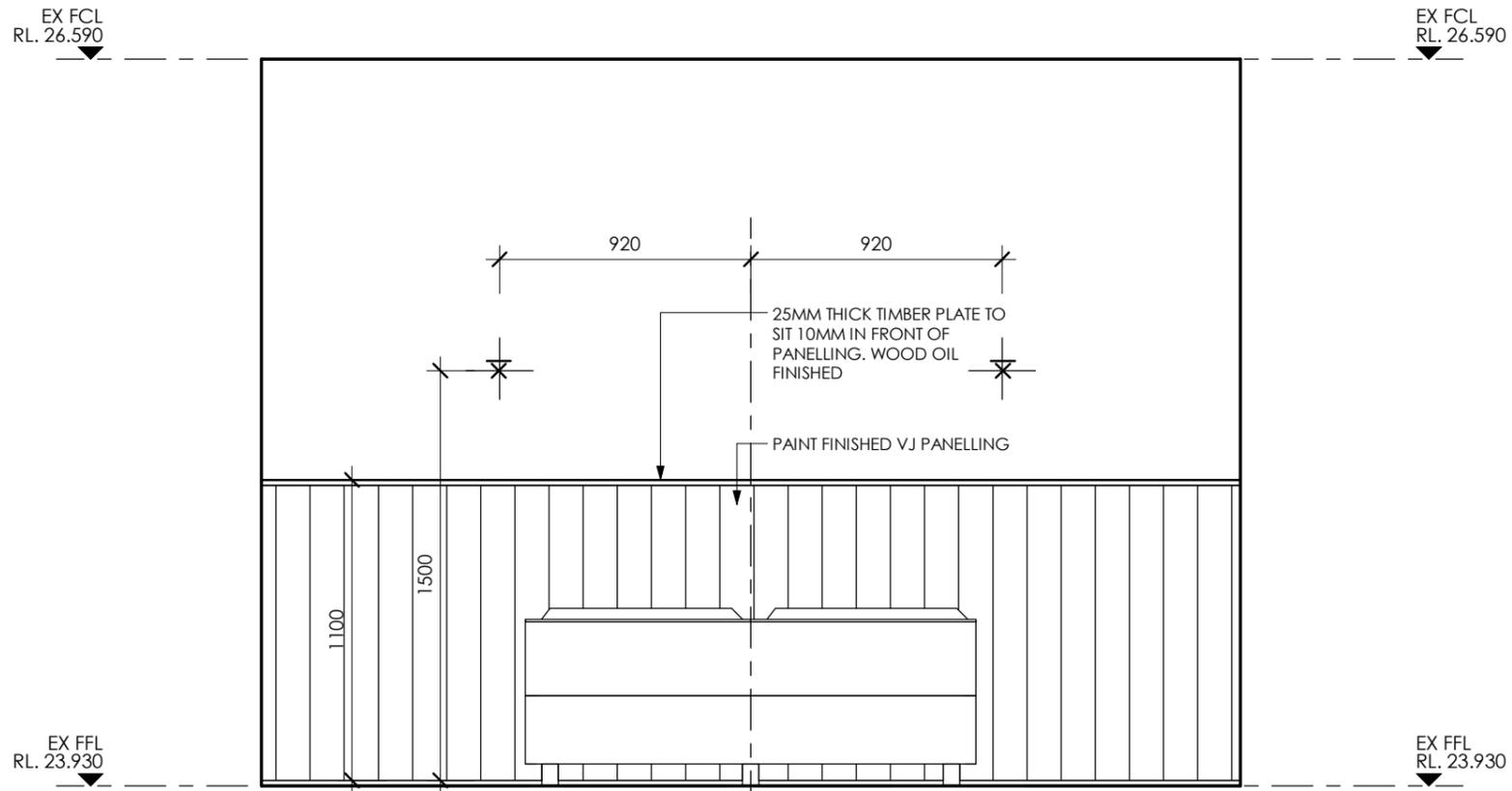
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**PERMIT
ISSUE**

ISSUE	AMENDMENT	DATE
1	TENDER ISSUE	16.10.24

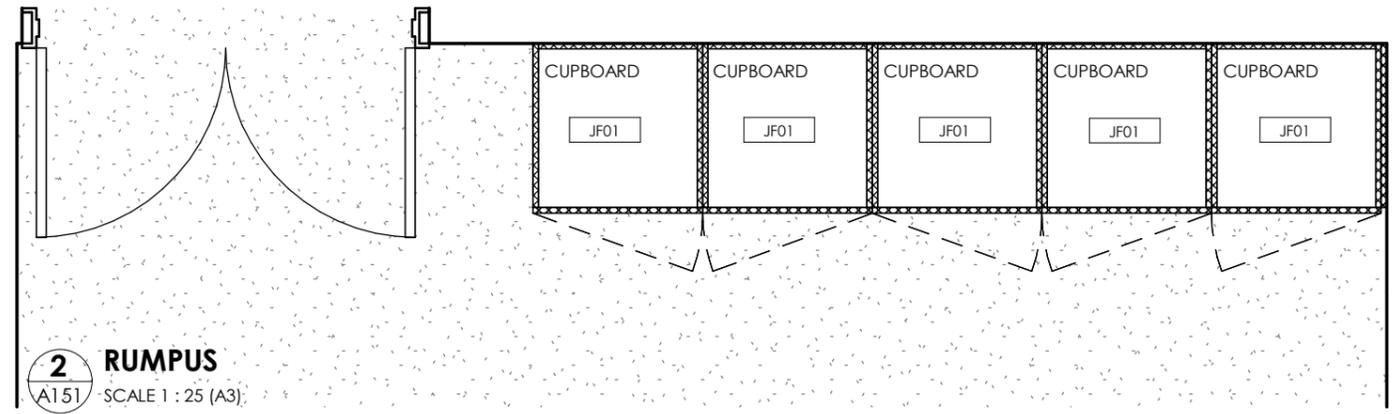
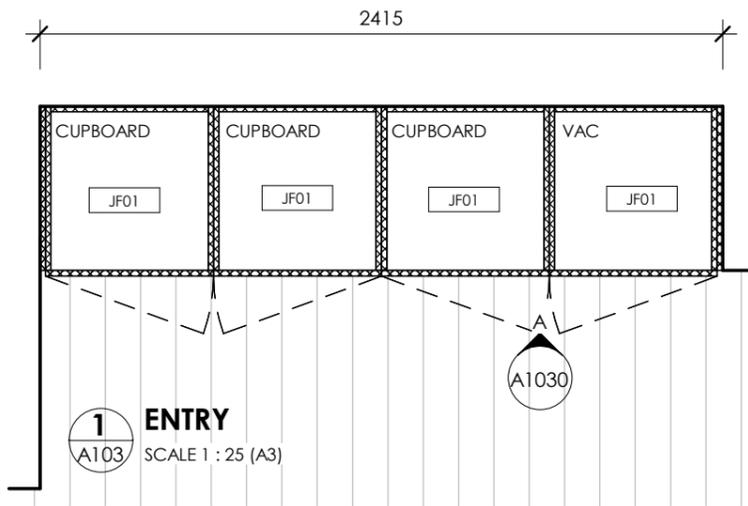


2 BED 01 - ELEVATION 1
A101 SCALE 1 : 25 (A3)



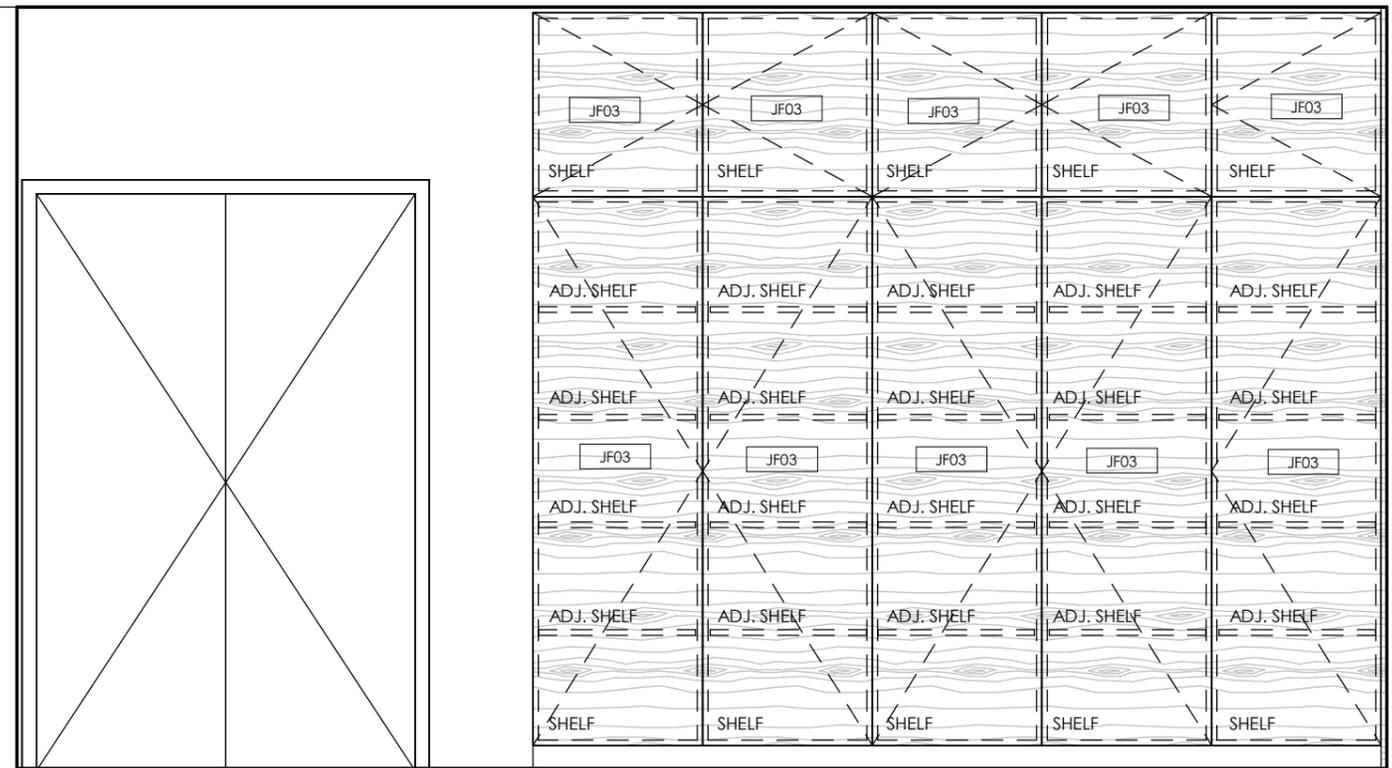
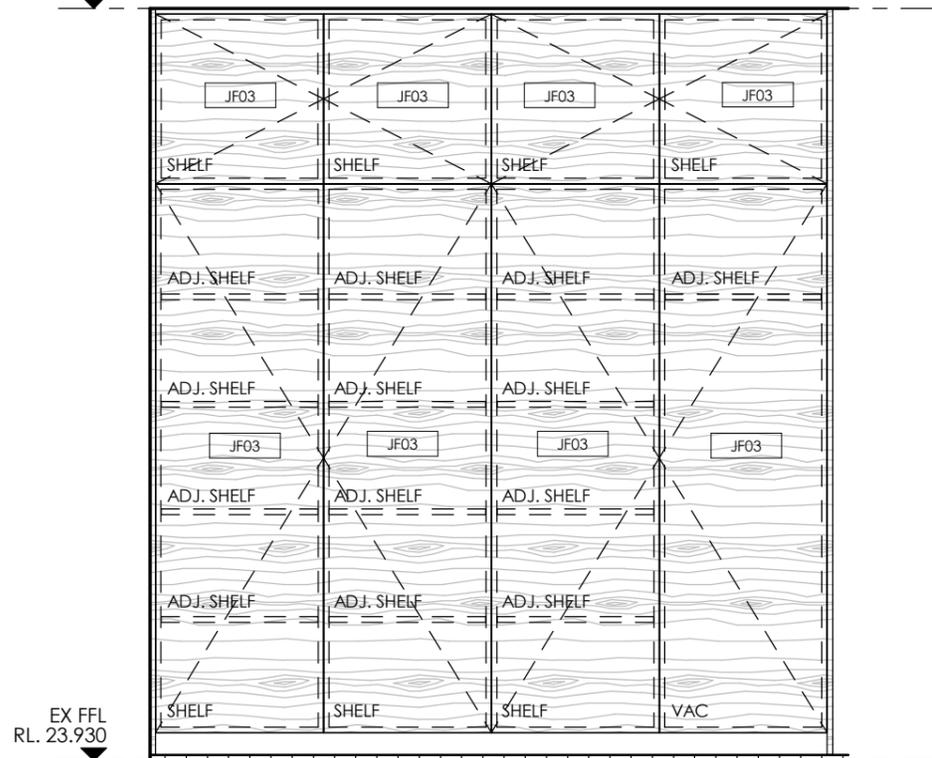
PROJECT	DRAWING	DATE	PROJECT	PREPARED BY	DRAWING No.	SCALE
ALTERATIONS & ADDITIONS 3 AUSTIN ROAD, HAMPTON	INTERIORS - BED 01	NOV 24	-	<i>Bearwood</i> BUILDING	A1023	1





EX FCL
RL. 26.590

PROPOSED FCL
RL. 29.690



A ENTRY - ELEVATION 1
A1030 SCALE 1 : 25 (A3)

B RUMPUS - ELEVATION 1
SCALE 1 : 25 (A3)

FINISHES KEY

JF01	GENERIC WHITE CARCASS MELAMINE
JF02	NA
JF03	POLYTEC RAVINE 'NATURAL OAK' MELAMINE FINISH
JF04	POLYTEC ULTRAMATT 'JASMINE' MELAMINE FINISH
WF01	10MM STANDARD PLASTERBOARD WITH PAINT FINISH
WF02	10MM MOISTURE RESISTANT PLASTERBOARD WITH PAINT FINISH
WF03	WHITE 300X600 WALL TILES OVER TILE SUBSTRATE
WF04	FEATURE WALL TILES 100X100 OR 50X150 OVER TILE SUBSTRATE, HORIZONTAL ORIENTATION

PERMIT ISSUE

ISSUE	AMENDMENT	DATE
1	TENDER ISSUE	16.10.24

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PROJECT

**ALTERATIONS & ADDITIONS
3 AUSTIN ROAD, HAMPTON**

DRAWING

INTERIORS - ENTRY

DATE

NOV 24

PROJECT

PREPARED BY

Bearwood
BUILDING

DRAWING No.

A1030

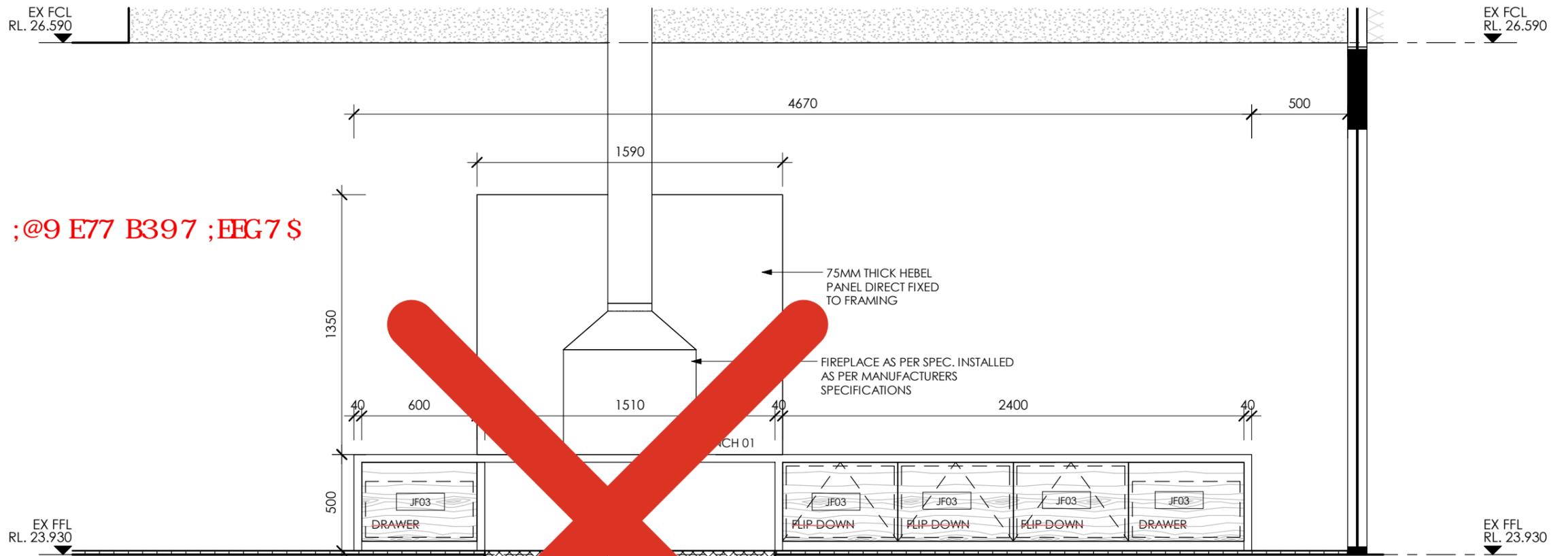
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Metro Building Surveying
APPROVED BUILDING PERMIT
Permit No 1775635451113
Permit Date 10/12/2024
SCALE @ A3 ISSUE SCALE

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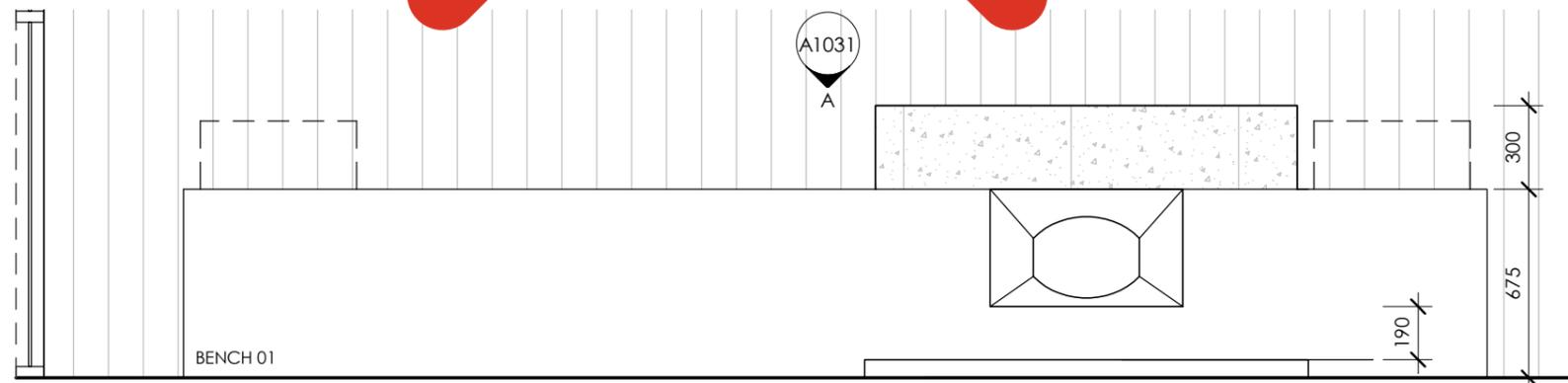
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3? 7@676 6D3I ;@9 E77 B397 ;EEG7 S



A LIVING - ELEVATION 1
A1031 SCALE 1 : 25 (A3)



1 LIVING - PLAN
A1031 SCALE 1 : 25 (A3)

FINISHES KEY

JF01	GENERIC WHITE CARCASS MELAMINE
JF02	NA
JF03	POLYTEC RAVINE 'NATURAL OAK' MELAMINE FINISH
JF04	POLYTEC ULTRAMATT 'JASMINE' MELAMINE FINISH
WF01	10MM STANDARD PLASTERBOARD WITH PAINT FINISH
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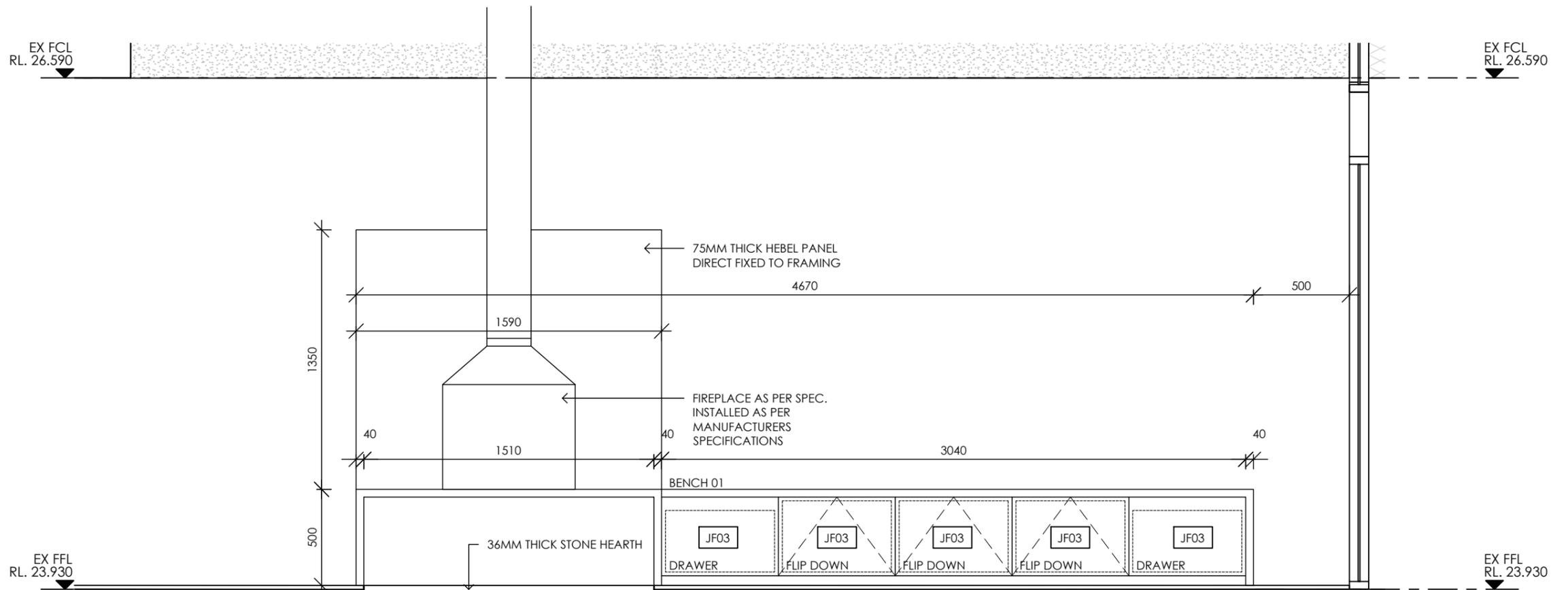
**PERMIT
ISSUE**

ISSUE	AMENDMENT	DATE
1	TENDER ISSUE	16.10.24

MBS
Metro Building Surveying
APPROVED BUILDING PERMIT
Permit No 1775635451113
Permit Date 10/12/2024
SCALE @ A3

PROJECT	DRAWING	DATE	PROJECT	PREPARED BY	DRAWING No.	SCALE
ALTERATIONS & ADDITIONS 3 AUSTIN ROAD, HAMPTON	INTERIORS - LIVING	NOV 24	-	<i>Bearwood</i> BUILDING	A1031	1





A
A1031 **LIVING - ELEVATION 1**
SCALE 1 : 25 (A3)

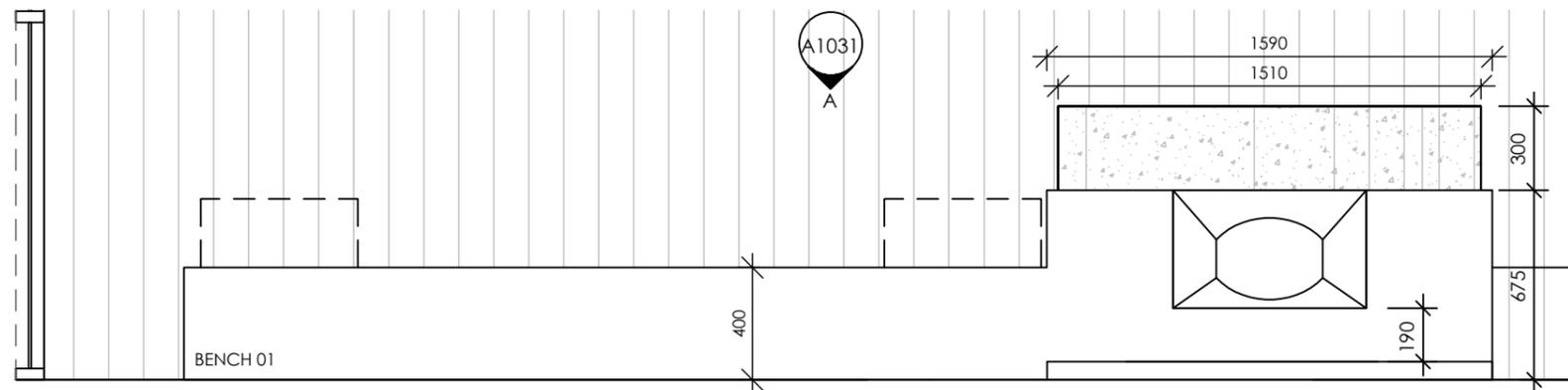
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FIGURES & DIMENSIONS TAKE PRECEDENCE OVER SCALE DIMENSIONS.

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1
A103 **LIVING - PLAN**
SCALE 1 : 25 (A3)

FINISHES KEY

JF01	GENERIC WHITE CARCASS MELAMINE
JF02	NA
JF03	POLYTEC RAVINE 'NATURAL OAK' MELAMINE FINISH
JF04	POLYTEC ULTRAMATT 'JASMINE' MELAMINE FINISH
WF01	10MM STANDARD PLASTERBOARD WITH PAINT FINISH
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**PERMIT
ISSUE**

ISSUE AMENDMENT	DATE
1 TENDER ISSUE	16.10.24
2 PERMIT ISSUE	24.11.24

PROJECT	DRAWING	DATE	PROJECT	PREPARED BY	DRAWING No.	SCALE @ A3	ISSUE
ALTERATIONS & ADDITIONS 3 AUSTIN ROAD, HAMPTON	INTERIORS - LIVING	NOV 24	-	-	A1031		2

