

WORKING DRAWING REGISTER

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PERMIT ISSUE

ISSUE	AMENDMENT	DATE
1	TENDER ISSUE	16.10.24

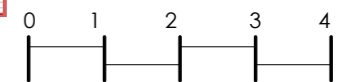
PROJECT
**ALTERATIONS & ADDITIONS
3 AUSTIN ROAD, HAMPTON**

DRAWING
**COVER DRAWINGS &
DRAWING REGISTER**

DATE
NOV 24

PROJECT PREPARED BY
**Bearwood
BUILDING**

DRAWING No. **A001**
SCALE @ A3 **1:100** ISSUE **1**



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THE OWNER / BUILDER, SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, SETBACKS AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORKS OR ORDERING MATERIALS AND SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARD CODES (CURRENT EDITIONS), BUILDING REGULATIONS, LOCAL BYLAWS AND TOWN PLANNING REQUIREMENTS.

DO NOT SCALE THIS DRAWING. DIMENSIONS AS SHOWN TO TAKE PRECEDENCE OVER SCALE. IF DISCREPANCIES OCCUR - CONTACT ARCHITECT OFFICE IMMEDIATELY.

ALL MEASUREMENTS ARE IN MILLIMETERS UNLESS OTHERWISE INDICATED. ALL SITE LEVELS ARE IN METERS, UNLESS OTHERWISE INDICATED.

INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY REQUIREMENTS. ALL DRAWINGS DENOTED WITH "DRAFT" OR "PRELIMINARY" ARE STRICTLY ONLY FOR USE BETWEEN THIS OFFICE AND THE CLIENT. THESE DRAWINGS ARE NOT FOR PERMIT APPROVAL, QUOTATION OR TO BE USED BY BUILDERS. WORKING DRAWINGS TO BE READ IN CONJUNCTION WITH ENGINEERS STRUCTURAL OR CIVIL DRAWINGS, COMPUTATIONS, SOIL REPORTS, SPECIFICATIONS AND ALL OTHER DOCUMENTATION PROVIDED.

THE NOTES ARE NEITHER EXHAUSTIVE NOR A SUBSTITUTE FOR REGULATIONS, STATUTORY REQUIREMENTS, BUILDING PRACTICE OR CONTRACTUAL OBLIGATIONS, AND UNLESS EXPRESSLY STATED OTHERWISE, ARE PROVIDED ONLY AS GUIDELINES.

THE BUILDER MUST TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF NEW AND EXISTING STRUCTURES DURING ALL CONSTRUCTION WORKS.

THE BUILDER MUST TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF ALL PERSONS WITHIN THE BUILDING SITE.

DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE STRUCTURE IN A STABLE CONDITION AND ENSURING NO PART IS OVERSTRESSED UNDER CONSTRUCTION ACTIVITIES.

DRAWINGS ARE TO BE READ IN-CONJUNCTION WITH CIVIL & STRUCTURAL ENGINEER'S DRAWINGS PREPARED BY: KNK CONSULTING ENGINEERS (PH 03 9001 1360)

SOIL CLASSIFICATION AND SITE TESTING REPORT PREPARED BY : SOIL TEST MELBOURNE CLASSIFICATION : P DATE: 22/02/2022 REPORT NO : 09578

BCA AND STANDARDS
ALL WORKS SHALL COMPLY WITH THE BCA AND NOT TO BE LIMITED TO THE FOLLOWING AUSTRALIAN STANDARD:
· AS 1288-2021 - GLASS IN BUILDINGS SELECTIONS AND INSTALLATIONS
· AS 1562-2018 - DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING. PART 1 METAL
· AS 1684.2-2021 - RESIDENTIAL TIMBER FRAMED CONSTRUCTION
· AS 1860-2006 - INSTALLATION OF PARTICAL BOARD FLOORING
· AS 2047-2014 - WINDOWS IN BUILDINGS SELECTIONS AND INSTALLATIONS

· AS 2049-2002 - ROOF TILES
· AS 2050-2018 - INSTALLATION OF ROOFING TILES
· AS 2870-2011 - RESIDENTIAL SLABS AND FOOTING CONSTRUCTION
· AS 2904-1995 - DAMP PROOF COURSES AND FLASHING
· AS 3600-2018 - CONCRETE STRUCTURES
· AS 3660.1-2014 & BCA PART 3.4 - PROTECTION OF BUILDING AGAINST SUBTERRANEAN TERMITES PART 1 NEW BUILDINGS
· AS 3700-2018 - MASONRY STRUCTURES
· AS 3740-2021 & BCA PART 10.2 WATERPROOF OF WET AREAS IN RESIDENTIAL BUILDINGS
· AS 3786-2014 - SMOKE ALARMS
· AS 4100-2020 - STEEL STRUCTURES
· AS 4256-2006 - PLASTIC ROOF AND WALL CLADDING MATERIALS

STRUCTURAL REQUIREMENTS
· FOOTINGS NOT TO ENCROACH TITLE BOUNDARIES AND EASEMENT LINES
· FOOTING TO BE FOUNDED AT THE MINIMUM DEPTHS INDICATED IN THE SOIL REPORT
· ALL CONCRETE FOOTINGS AND FOUNDATION WORK MUST BE IN ACCORDANCE WITH AS.2870, AND MUST BE READ STRICTLY IN CONJUNCTION WITH THE RELEVANT SOIL REPORT AND ENGINEERING DOCUMENTATION PROVIDED.
· CONCRETE WORKS MUST COMPLY WITH THE ENGINEERS DOCUMENTATION, AND BE IN ACCORDANCE WITH AS 3600.
· ALL MASONRY CONSTRUCTION TO COMPLY WITH AS.3700 AND THE BUILDING CODE OF AUSTRALIA.
· ALL DAMP PROOF COURSES AND FLASHING MUST BE IN ACCORDANCE WITH AS.2904.
· STRUCTURAL STEEL WORK MUST BE IN ACCORDANCE WITH AS.4100.
· ALL TIMBER FRAMING MUST BE IN ACCORDANCE WITH AS.1684. PROVIDE DOUBLE STUDS TO ALL OPENINGS GREATER THAN 1500mm.
· PROVIDE BRACING TO ALL INTERNAL AND EXTERNAL WALLS AS PER AS.1684.

SUB-FLOOR VENTILATION IS TO BE INSTALLED AT A MINIMUM OF EVERY 6000sqm PER METER RUN OF WALL IN COMPLIANCE WITH BCA PART 6.2 THE SUB FLOOR ACCESS DOOR IS TO BE LOCATED IN A READILY ACCESSIBLE POSITION.

CONVENTIONAL TIMBER FLOOR CONSTRUCTION TO ENGINEERS DETAILS PROVIDE CLEARANCE FROM UNDERSIDE OF BEARER TO FINISHED GROUND LEVEL OF 150mm FOR FLOORS WITH STRIP FLOORING AND 200mm FOR FLOORS WITH PARTICLE BOARD FLOORING OR 400MM WHERE IN TERMITE PRONE AREA

REINFORCED CONCRETE FLOOR SLAB TO ENGINEER DESIGN AND COMPLY WITH BCA PART 4.2 AND AS 2870. PROVIDE 0.2mm POLYTHENE MOISTURE BARRIER UNDER SLAB, ON 50mm SAND BED, 150mm FREEBOARD TO SLAB FLOORS.

MASONRY
PROVIDE WALL TIES TO BRICKWORK AT MAX 600mm CENTERS IN BOTH DIRECTIONS AND WITHIN 300mm OF ARTICULATION JOINTS.

ARTICULATION JOINTS TO COMPLY WITH BCA PART 5.6.8 (MIN EVERY 6000mm CENTERS)

WEEP HOLES AT 1200mm SPACING LOCATED ABOVE WINDOW OPENINGS OF MORE THAN 1000mm WIDE, IN ACCORDANCE WITH BCA PART 5.7.5

DRAINAGE
CONNECT STORM WATER AND SEWER DRAWINGS VIA EXISTING SWD SYSTEM TO LEGAL POINT OF DISCHARGE. ALL DRAINS SHALL COMPLY WITH LOCAL AUTHORITIES REGULATION AND AS 2003 / AS 3500.5-2021.

ALL EXISTING UNDERGROUND SERVICES ARE TO BE LOCATED PRIOR TO EXCAVATION FOR NEW PIPE LINES AND NO EXISTING SERVICE SHALL BE DISCONNECTED OR DISTURBED WITHOUT APPROVAL FROM ENGINEER.

AGI DRAINS TO BE 90mm DIA. UPVC IN GEOTEXTILES SOCK WITH AGGREGATE COVER TO THE BASE OF ALL EXCAVATION BANKS AND RETAINING WALLS CONNECTED TO STORM WATER DRAIN VIA SILT PIT.

STORMWATER DRAINS SHALL BE 100mm DIA. AT A GRADE OF 1:100 UNLESS NOTED OTHERWISE BY ENGINEER.

THE SITE SHOULD BE DRAINED SO THAT WATER CANNOT POND AGAINST OR NEAR BUILDINGS. THE GROUND ADJACENT TO THE BUILDINGS SHOULD BE GRADED TO FALL 50mm OVER THE FIRST METER. WHERE IT IS IMPRACTICAL FOR SLOPING SITES USE AGI DRAIN ADJACENT TO THE FOOTINGS WHERE THE GROUND FALLS TOWARDS THE BUILDING.

SURFACE DRAINAGE
THE GROUND BENEATH SUSPENDED FLOORS MUST BE GRADED SO THAT THE AREA BENEATH THE BUILDING IS ABOVE THE ADJACENT EXTERNAL FINISHED GROUND LEVEL AND SURFACE WATER IS PREVENT FROM PONDING UNDER THE BUILDING.

UNLESS NOTED OTHERWISE ALL BATTERS TO EXCAVATIONS TO BE AT 45° MAX.

WET AREAS
ALL WET AREAS TO COMPLY WITH BCA PART 10.2 & AS3740-2021.
IMPERVIOUS WALL FINISHES TO A HEIGHT OF 1800mm VERTICAL OF FLOOR TO SHOWER ENCLOSURES AND 150mm ABOVE BATHS, BASINS, SINKS AND TROUGHS IF WITHIN 75mm FROM WALL.
THE FLOOR WASTE IN BOTH ENCLOSED AND UNENCLOSED WET AREA FLOORS MUST BE INSTALLED WITH A MINIMUM 1:80 AND A MAXIMUM CONTINUOUS FALL OF 1:50 FROM THE FLOOR PLANE TO THE WASTE. IMPERVIOUS FLOOR COVERINGS TO ALL WET ARAES TO THE SATISFACTION OF THE BUILDING SURVEYOR

SHOWER AREAS TO BE NOTCHED INTO FLOOR STRUCTURE FOR SCREED AND WATERPROOFING UNLESS NOTED OTHERWISE. REFER ENGINEER DRAWINGS FOR STRUCTURAL REQUIREMENTS.

WATERPROOFING
WATERPROOFING OF WET AREAS, BEING BATHROOMS, SHOWERS, LAUNDRIES AND SANITARY COMPARTMENTS AND THE LIKE SHALL BE PROVIDED IN ACCORDANCE WITH PART 10.2.2 TO 10.2.6 OF THE ABCB HOUSING PROVISIONS

TRUSSES / POSI STRUT
ALL ROOF TRUSSES OR POSI STRUT ARE TO BE CONSTRUCTED AND ASSEMBLED AS PER THE MANUFACTURERS DESIGN AND SPECIFICATIONS. MANUFACTURERS COMPUTATIONS ARE TO BE PROVIDED PRIOR TO FRAME INSPECTION.

ROOFING
ALL DOWNPIPES SHALL BE 90mm DIAMETER COLORBOND AND BE NO FURTHER THAN 12M APART.
EXPOSED COLORBOND GUTTERS AND FASCIAS INSTALLED AS PER BCA 7.4. EXCEPT STATED OTHERWISE, ALL BOX GUTTER SHALL BE MINIMUM 300mm X 150mm DEEP AND BE CONSTRUCTED FROM 0.48mm ZINCALUME SHEET ON 19mm THICK ALL WEATHER PLYWOOD SUBSTRATE ON 1:200 MIN FALL. PROVIDE ONE POP OUTLET FOR EACH BOX GUTTER AND SUMP.

CEILING HEIGHT
MUST NOT BE LESS THAN :
· 2400mm IN A HABITABLE ROOM EXCLUDING A KITCHEN
· 2100mm IN A KITCHEN, CORRIDOR, PASSAGEWAY OR BATHROOM, SHOWER, LAUNDRY, TOILET, PANTRY, STORE, GARAGE OR THE LIKE.
· 2100mm IN AN ATTIC ROOM WITH A SLOPING CEILING.
· 2000mm IN A STAIRWAY MEASURED VERTICALLY ABOVE THE NOSING LINE.

GENERAL TIMBER FRAMING SPECIFICATION
STUDS : 90x45mm MGP 10 STUDS @450 CTRS
2x90x45mm MIN JAMB STUDS
90x35mm NOGGINS @ 1350 CTRS
WALL BRACING AS PER ENGINEER DESIGN
PLATES : 90x45mm MGP 10
CEILING BATTENS : 35x70mm MGP10 @ 450 CTRS
LINTELS : 1000mm SPAN 90x45mm F17 KDHW
ROOF BRACING, RAFTER AND TRUSSES AS PER ENGINEER DESIGN.
FLOORING : 19mm YELLOW TONGUE
JOIST, BEARERS, STUMPS AND PAD FOOTING AS PER ENGINEER DESIGN.
ALL TIMBER FRAMING TO COMPLY WITH AS1684.

TERMITE AND CORROSION PREVENTION
WHERE THE BUILDING IS LOCATED IN A TERMITE PRONE AREA, THE AREA TO THE UNDERSIDE OF THE BUILDING AND THE PERIMETER IS TO BE TREATED AGAINST TERMITE ATTACK, AS PER AS.3660.1

PROVIDE CORROSION PROTECTION FOR MASONRY WALL TIES IN ACCORDANCE WITH BCA 5.6.5. PROVIDE CORROSION PROTECTION OF BUILT IN STRUCTURAL STEEL MEMBERS SUCH AS STEEL LINTELS, SHELF ANGLES, CONNECTORS AND ACCESSORIES IN ACCORDANCE WITH BCA 6.3.9. PROVIDE CORROSION PROTECTION FOR SHEET ROOFING IN ACCORDANCE WITH BCA 7.2.2.

INTERNAL WALL & CEILING
ALL CEILING ARE LINED WITH 10mm PLASTERBOARD
ALL INTERNAL STUD WALL SHALL BE LINED WITH 10mm PLASTERBOARD
IN WET AREAS, 10mm WATER RESISTANT PLASTERBOARD.

INSULATION
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH APPROVED STAMPED PLANS WHICH HAVE BEEN ASSESSED BY AN ACCREDITED THERMAL ASSESSOR, WHERE PROVIDED. PROVIDE INSULATION AND GLAZING SPECIFICATIONS AS PER THE THERMAL ASSESSMENT REPORT, WHERE PROVIDED.

NATURAL LIGHTING & VENTILATION
NATURAL VENTILATION IS PROVIDED TO ALL HABITABLE ROOMS MIN 5% MIN OF THE FLOOR AREA AND DAYLIGHT MIN 10% OF FLOOR AREA.

ARTIFICIAL LIGHTING
ARTIFICIAL LIGHTING TO COMPLY WITH AS/NZS.1680.0-2009 AND BCA PART 3.12.5.5.
IN CLASS 1 BUILDING 5w/m2
ON A VERANDAH OR BALCONY 4w/m2
IN CLASS 10 (GARAGE/CARPORT/SHED) 3w/m2

MECHANICAL VENTILATION
PROVIDE EXHAUST FANS WHERE NATURAL VENTILATION IS NOT ACHIEVED IN WET AREAS INSTALLED IN ACCORDANCE WITH BCA PART 10.8.2, 25L/S FOR BATHROOM OR SANITARY COMPARTMENT.
ALL EXHAUST FANS ARE TO DISCHARGE TO THE EXTERIOR OF THE BUILDING (OUTSIDE AIR) OR VENTILATED ROOF SPACE.

ENERGY EFFICIENCY
FOR NEW DWELLINGS;
· SOLAR HOT WATER SYSTEM IS TO HAVE 60% SOLAR GAIN INSTALLED IN ACCORDANCE WITH THE PLUMBING REGULATION
OR
· 2000 LITRE RAIN WATER TANK IS TO BE SERVED BY A ROOF AREA OF NO LESS THAN 50sqm CATCHMENTS AREA CONNECTED TO SANITARY FLUSHING SYSTEMS

SEAL ALL GAPS AND CRACKS FOR DRAUGHT PROOFING. SELF-SEALING DAMPERS REQUIRED FOR EXHAUST FANS AND EVAPORATIVE COOLERS. DAMPERS OR FLAPS REQUIRED FOR OPEN SOLID FUEL BURNING DEVICES. WEATHER SEALS FITTED TO ALL EXTERNAL DOORS. ROOF LIGHTS REQUIRED TO BE FITTED WITH WEATHER SEALS, SHUTTERS OR CEILING DIFFUSERS.

FOR MORE INFORMATION REFER ENERGY REPORT PREPARE BY **ENERGY PRINCIPLES**

SMOKE ALARM
SMOKE ALARMS TO COMPLY WITH AS3786-2023 AND TO BE INSTALLED IN ACCORDANCE WITH BCA PART 9.52. SMOKE ALARMS SHALL BE HARD WIRED TO ELECTRICAL MAINS AND INTERCONNECTED THROUGHOUT WITH BATTERY BACKUP.

WINDOW / DOOR / GLAZING
ALL WINDOWS SHALL CONFORM TO AS2047 AND ALL GLAZING TO AS1288 & BCA PART 8 GLAZING WITHIN 2000MM OF THE F.F.L. IN BATHROOMS OR ENSUITES IS TO BE GRADE 'A' SAFETY GLASS. FLASHING TO ALL SIDES OF WINDOW.

ALL DOORS WITH GLASS INFILL TO BE SAFETY GLASS.

WHERE DISTANCES FROM TOILET PAN TO ANY PART OF DOOR IS LESS THAN 1200mm THE DOOR IS TO OPEN OUTWARDS, SLIDE OR REMOVABLE FROM OUTSIDE A S PER B.C.A. PART 10.4.2
ALL ALL WINDOWS SIZES & CLEARANCES SHOWN ARE NOMINAL AND SHOULD BE COMPARED TO MANUFACTURER'S STANDARD SCHEDULE BEFORE CONSTRUCTION COMMENCES. NON-STANDARD WINDOWS TO HAVE SIZES CHECKED ON SITE PRIOR TO MANUFACTURING. REFER TO ELEVATIONS OR WINDOW SCHEDULE FOR TYPE.

WHERE THE FLOOR LEVEL IS MORE THAN 4000mm ABOVE THE ADJACENT GROUND LEVEL OPERABLE WINDOWS WITHIN 1000mm OF THE FINISHED FLOOR LEVEL SHALL BE RESTRICTED SO THE OPENINGS DO NOT EXCEED 125mm.

ALL WINDOWS AND EXTERNAL DOORS IN BUILDINGS TO COMPLY WITH AS2047, ALL GLASS IN BUILDINGS TO COMPLY WITH AS1288 AND NCC PART 8 GLAZING WITHIN BATHROOMS ENSUITES AND THE LIKE TO HAVE GRADE 'A' SAFETY GLASS WITHIN 2000mm ABOVE THE HIGHEST ABOVE FLOOR OR SURFACE BELOW.

PLEASE NOTE THAT WINDOWS CAPABLE OF BEING MISTAKEN FOR A DOORWAY OR OPENING AND GREATER THAN 500mm IN WIDTH, 1000mm IN HEIGHT AND WITHIN 700mm OF THE FINISHED FLOOR ARE TO BE PROVIDED WITH A MID-HEIGHT MOTIF WITHIN ITS PANEL IN ACCORDANCE WITH PART 8.4.7 OF THE BCA.

GLAZING SHALL COMPLY WITH AS1288 & AS2047 WITH SAFETY GLAZING TO BE USED IN THE FOLLOWING CASES:
· ALL ROOMS WITHIN 500mm VERTICAL OF THE FLOOR
· BATHROOMS WITHIN 2000mm VERTICAL FROM THE BATH BASE
· LAUNDARY WITHIN 2000mm VERTICAL FROM FLOOR AND/OR WITHIN 300mm HORIZONTAL FROM ALL DOORS
· DOORWAY WITHIN 300mm HORIZONTAL FROM ALL DOORS, SHOWER SCREENS SHALL BE GRADE A SAFETY GLASS

ALL GLAZING SPECIFICATIONS TO BE IN ACCORDANCE WITH THE APPROVED THERMAL ASSESSMENT / ENERGY REPORT, BUILDER TO CONFIRM WINDOW SPECIFICATION PRIOR TO PLACING ORDER WITH MANUFACTURER.

PROTECTION OF OPERABLE WINDOWS
A WINDOW OPENING MUST BE PROVIDED WITH PROTECTION OF THE FLOOR BELOW THE WINDOW IN A BEDROOM IS 2000mm OR MORE THE SURFACE BENEATH. WHERE THE LOWEST LEVEL OF THE WINDOW OPENING IS LESS THAN 1700mm ABOVE FFL, THE OPENABLE PORTION OF THE WINDOW MUST COMPLY WITH THE FOLLOWING;
· PROTECTED WITH A DEVICE TO RESTRICT THE WINDOW OPENING OR
· MUST NOT PERMIT A 125mm SPHERE TO PASS THROUGH
· RESIST AN OUTWARD HORIZONTAL ACTION OF 250N
· HAVE A CHILD RESISTANT RELEASE MECHANISM

STAIRS, LANDINGS & BALUSTRADES
TO COMPLY WITH B.C.A. PART 11.2.1 and 11.2.2 STEP SIZES (OTHER THAN SPIRAL STAIRS) TO BE:
· RISERS 190mm MAXIMUM, 115mm MINIMUM;
· GOING 355mm MAXIMUM, 240mm MINIMUM;
· 1000mm HIGH BALUSTRADE & 865mm ABOVE STAIR NOSING
· 125mm MAXIMUM GAP BETWEEN RISERS
· PROVIDE 2000mm MIN HEAD ROOM CLEARANCE FROM TREAD.
· PRIVATE STAIRS (AND 250mm FOR PUBLIC STAIRS), RISERS AND TREADS TO BE CONSTANT IN SIZE THROUGHOUT FLIGHT.

MAX 3 RISERS OR 570mm WITHOUT A LANDING TO DOOR OPENING SLOPE RELATIONSHIP 2R + G 550MIN - 700MAX THE MAXIMUM GAP BETWEEN RISERS IN OPEN STAIRS IS 125mm WHERE THE STAIR IS IN EXCESS OF 1000mm ABOVE THE ADJACENT FLOOR LEVEL.

IF ANY PART OF RAISED FLOORING (DECKS INCLUDED) HAVE A FINISHED FLOOR LEVEL GREATER THAN 1000mm FROM THE FINISHED GROUND LEVEL, A BALUSTRADE WILL NEED TO BE PROVIDED TO THE PERIMETER OF THE DECK AT A MINIMUM HEIGHT OF 1000mm FROM THE DECK LEVEL AND A MAXIMUM GAP OF 125mm BETWEEN BALUSTRADES.

ANY HORIZONTAL ELEMENT WITHIN THE BALUSTRADE BETWEEN 150mm AND 760mm ABOVE FFL MUST NOT FACILITATE CLIMBING WHERE CHANGES IN LEVEL EXCEEDS 4000mm ABOVE THE SURFACE BENEATH

TREADS TO STAIRS
ALL TREADS ARE TO HAVE A NON-SLIP FINISH OR A NON-SLIP STRIP IS TO BE PROVIDED TO THE NOSING. TREADS MUST HAVE THE FOLLOWING IN ACCORDANCE WITH CLAUSE 11.2.4
· A SURFACE WITH A SLIP-RESISTANCE CLASSIFICATION NOT LESS THAN P3 OR R10 IN DRY SURFACE CONDITIONS OR, P4 OR R11 IN WET SURFACE CONDITIONS.
· A NOSING STRIP WITH A SLIP-RESISTANCE CLASSIFICATION NOT LESS THAN P3 IN DRY SURFACE CONDITIONS OR, P4 IN WET SURFACE CONDITIONS.

HANDRAILS
A HANDRAIL IS TO BE PROVIDED ALONG AT LEAST ONE SIDE OF THE INTERNAL STAIRS. THE TOP SURFACE OF THE HANDRAIL IS TO BE NOT LESS THAN 865mm VERTICALLY ABOVE THE NOSING OF THE STAIR TREADS AND FLOOR SURFACE OF RAMPS, AND HAVE NO OBSTRUCTION ON OR ABOVE.

THRESHOLD
IF THE THRESHOLD SILL OF THE DOORWAY IS GREATER THAN 190mm ABOVE THE FINISHED SURFACE OF THE GROUND TO WHICH THE DOORWAY OPENS, A LANDING SHALL BE PROVIDED NO LESS THAN THE WITH OF THE DOOR, 1000mm X 900mm, WHICHEVER IS GREATER.

PERMIT ISSUE

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1	TENDER ISSUE	16.10.24

PROJECT	DRAWING	DATE	PROJECT	PREPARED BY	DRAWING NO.
ALTERATIONS & ADDITIONS	3 AUSTIN ROAD, HAMPTON	NOV 24	-	Bearwood BUILDING	A002

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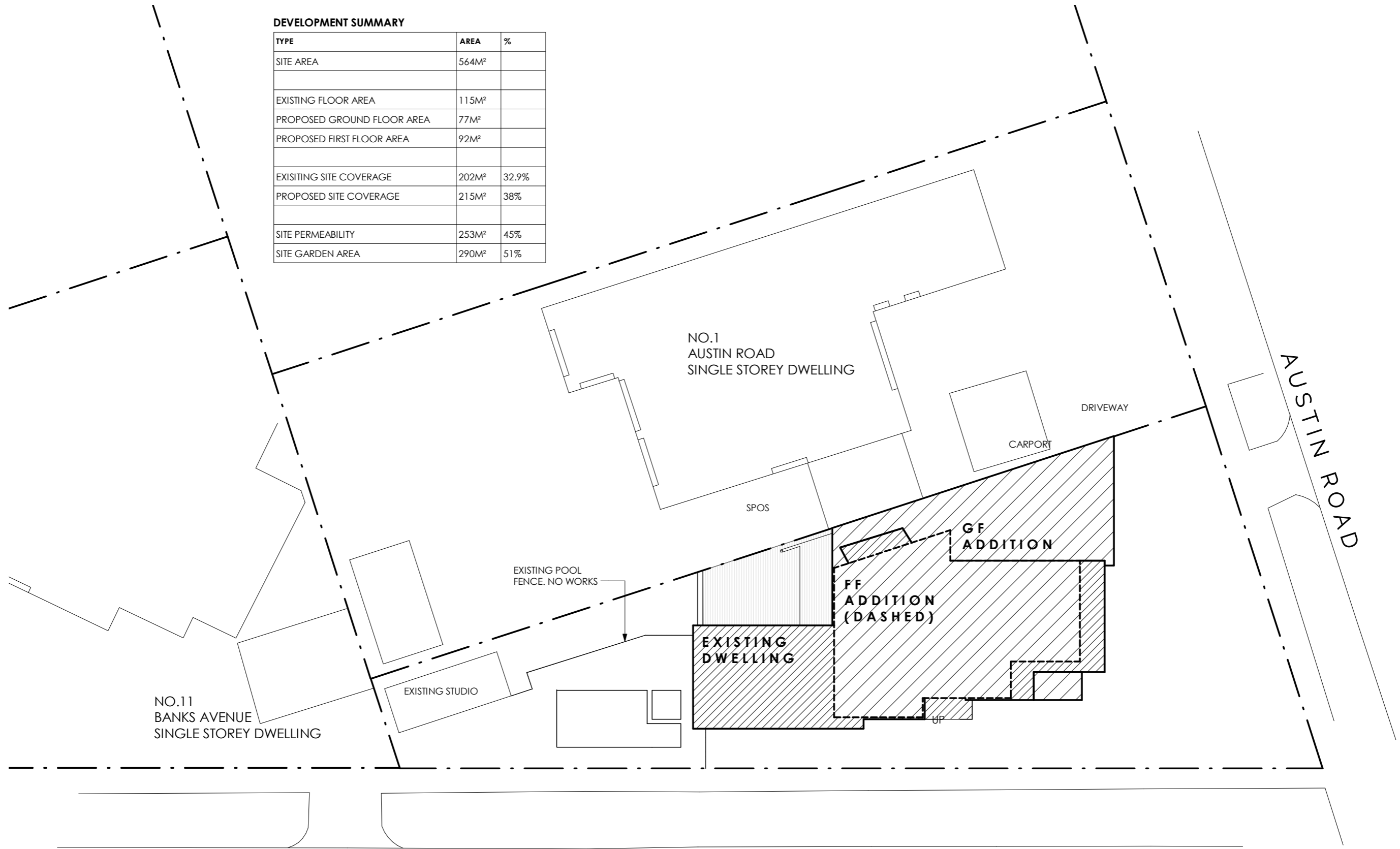
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DEVELOPMENT SUMMARY

TYPE	AREA	%
SITE AREA	564M ²	
EXISTING FLOOR AREA	115M ²	
PROPOSED GROUND FLOOR AREA	77M ²	
PROPOSED FIRST FLOOR AREA	92M ²	
EXISTING SITE COVERAGE	202M ²	32.9%
PROPOSED SITE COVERAGE	215M ²	38%
SITE PERMEABILITY	253M ²	45%
SITE GARDEN AREA	290M ²	51%



BANKS AVENUE

**PERMIT
ISSUE**

ISSUE	AMENDMENT	DATE
1	TENDER ISSUE	16.10.24

GENERAL NOTES:

CONTRACTORS & SUB CONTRACTORS SHALL VERIFY ALL DIMENSIONS OF THIS DRAWING & SITE CONDITIONS PRIOR TO ANY WORK COMMENCING

ALL SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT. THE MANUFACTURE SHALL NOT COMMENCE ANY WORKS PRIOR TO THE RETURN OF APPROVED SHOP DRAWINGS SIGNED BY THE RELEVANT CONSULTANTS.

FIGURES & DIMENSIONS TAKE PRECEDENCE OVER SCALE DIMENSIONS.

THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTORS, SPECIFICATIONS & DRAWINGS.

PROJECT
**ALTERATIONS & ADDITIONS
3 AUSTIN ROAD, HAMPTON**

DRAWING
**SITE PLAN, ELECTRICAL &
SERVICES**

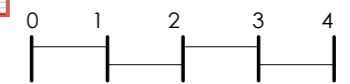
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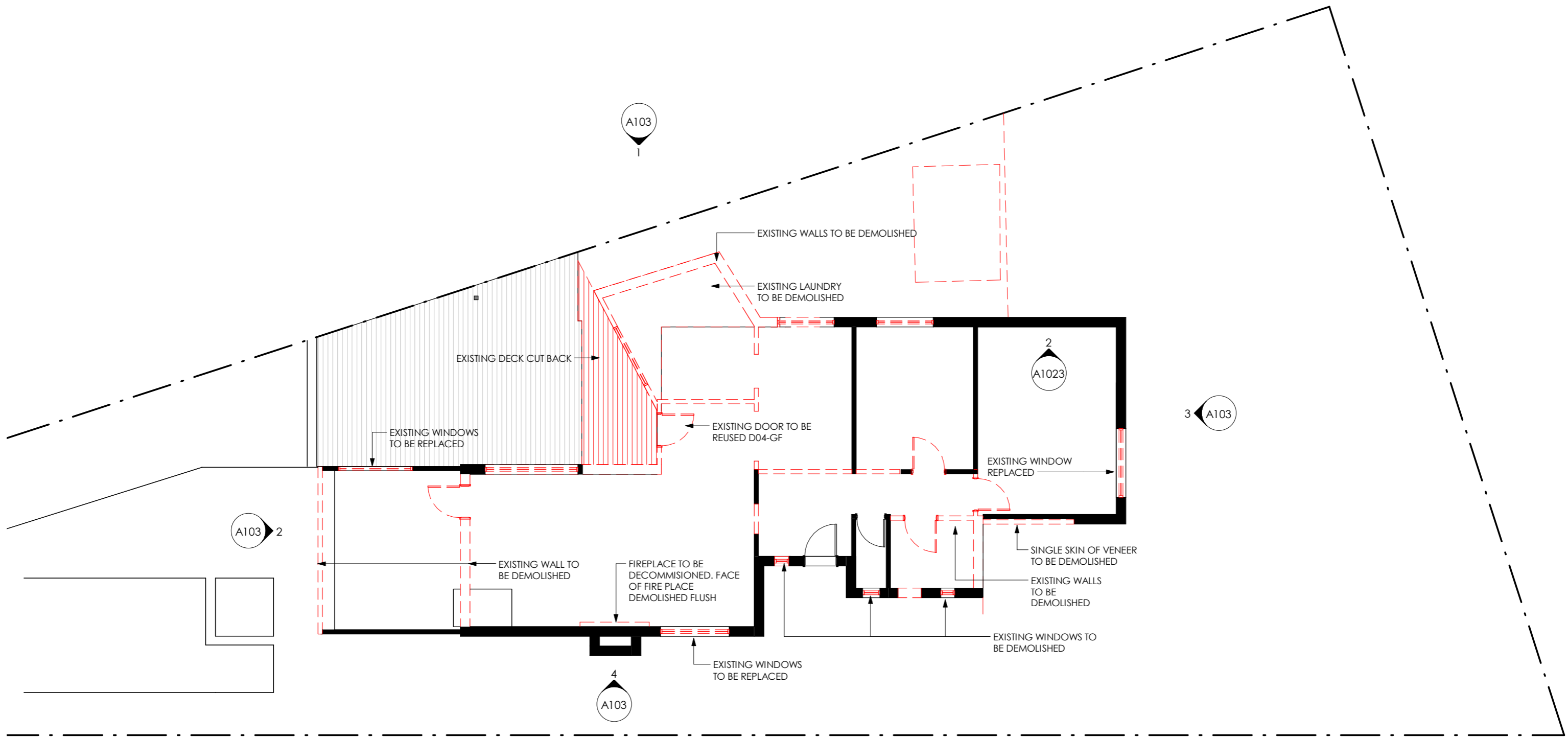
PROJECT PREPARED BY
**Bearwood
BUILDING**

DRAWING No.
A100

SCALE
1:100

MBS
Metro Building Surveying
APPROVED BUILDING PERMIT
Permit No 1775635451113
Permit Date 10/12/2024
SCALE @ A3 ISSUE SCALE





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1	TENDER ISSUE	16.10.24

GENERAL NOTES:

CONTRACTORS & SUB CONTRACTORS SHALL VERIFY ALL DIMENSIONS OF THIS DRAWING & SITE CONDITIONS PRIOR TO ANY WORK COMMENCING

ALL SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT. THE MANUFACTURE SHALL NOT COMMENCE ANY WORKS PRIOR TO THE RETURN OF APPROVED SHOP DRAWINGS SIGNED BY THE RELEVANT CONSULTANTS.

FIGURES & DIMENSIONS TAKE PRECEDENCE OVER SCALE DIMENSIONS.

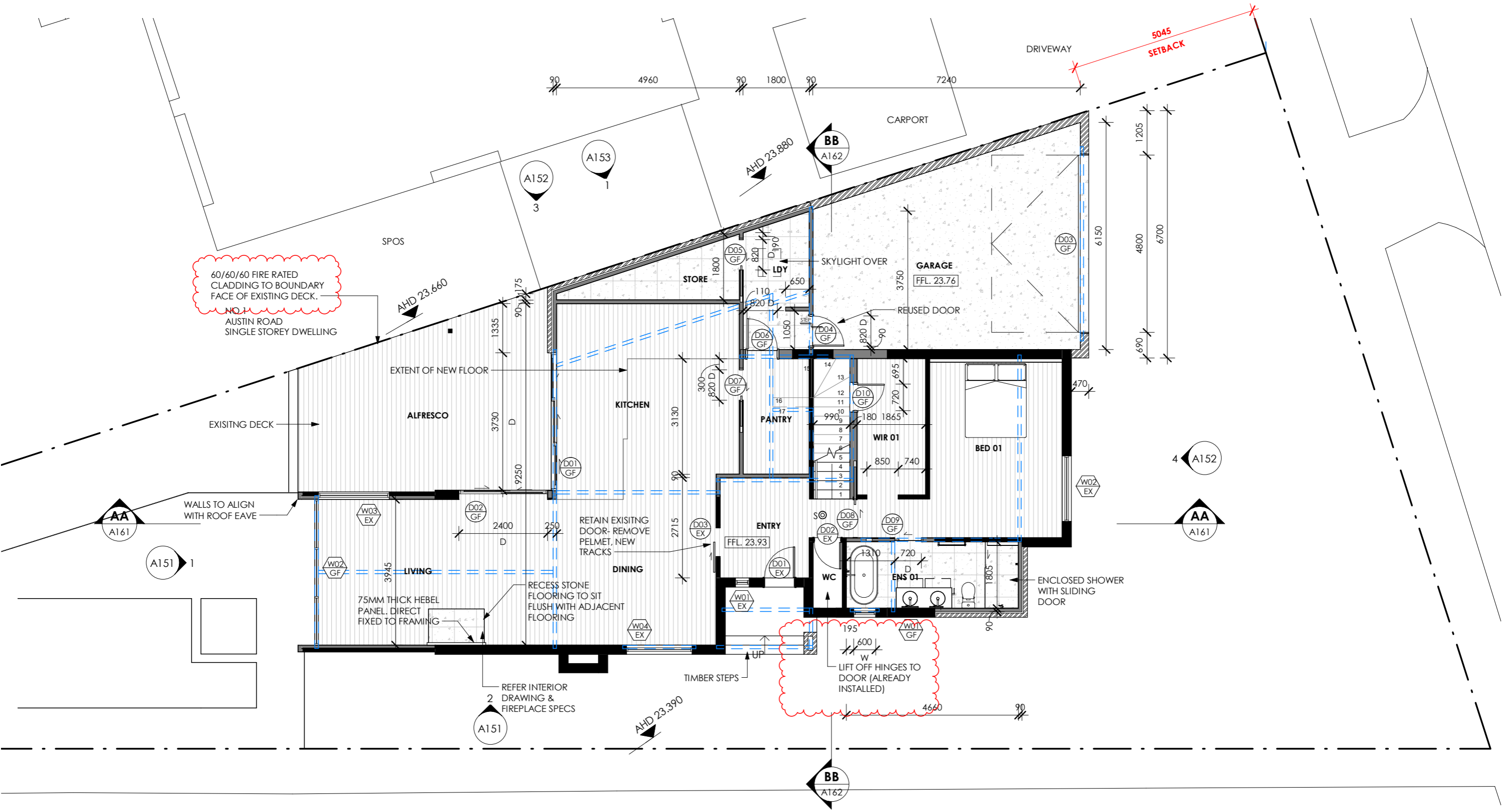
THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTORS, SPECIFICATIONS & DRAWINGS.

LEGEND	
	EXISTING WALLS TO BE REMOVED
	PROPERTY BOUNDARIES
	EASEMENTS

MBS
Metro Building Surveying
APPROVED BUILDING PERMIT
Permit No 1775635451113
Permit Date 10/12/2024
SCALE @ A3 ISSUE SCALE

PROJECT	DRAWING	DATE	PROJECT	PREPARED BY	DRAWING No.	SCALE	SCALE
ALTERATIONS & ADDITIONS 3 AUSTIN ROAD, HAMPTON	EXISTING & DEMO PLAN	NOV 24	Bearwood BUILDING	A101	1:100	1	0 1 2 3 4





PERMIT ISSUE

ISSUE	AMENDMENT	DATE
1	TENDER ISSUE	16.10.24
2	BS RFI	21.10.24

GENERAL NOTES:

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PROJECT
**ALTERATIONS & ADDITIONS
3 AUSTIN ROAD, HAMPTON**

DRAWING
**PROPOSED GROUND
FLOOR PLAN**

DATE
NOV 24

PROJECT PREPARED BY
**Bearwood
BUILDING**

DRAWING No.
A111

SCALE @ A3
1:100

ISSUE
2

CONSTRUCTION KEY

- EXISTING WALLS TO REMAIN
- NEW WINDOW
- NEW TIMBER FRAMED WALLS
- INTERCONNECTED SMOKE DETECTOR
- NEW DOOR

